

Planning Committee

Tuesday 1 December 2020
6.30 pm

Online/Virtual: Members of the public are welcome to attend the meeting.
Please contact Constitutional.Team@southwark.gov.uk for a link or
telephone dial-in instructions to join the online meeting

Membership

Councillor Martin Seaton (Chair)
Councillor Darren Merrill (Vice-Chair)
Councillor Richard Livingstone
Councillor Damian O'Brien
Councillor Cleo Soanes
Councillor Dan Whitehead
Councillor Kath Whittam
Councillor Bill Williams

Reserves

Councillor Radha Burgess
Councillor Victor Chamberlain
Councillor Nick Johnson
Councillor Jon Hartley
Councillor James McAsh
Councillor Margy Newens
Councillor Jason Ochere
Councillor Catherine Rose

INFORMATION FOR MEMBERS OF THE PUBLIC

Access to information

You have the right to request to inspect copies of minutes and reports on this agenda as well as the background documents used in the preparation of these reports.

Babysitting/Carers allowances

If you are a resident of the borough and have paid someone to look after your children, an elderly dependant or a dependant with disabilities so that you could attend this meeting, you may claim an allowance from the council. Please collect a claim form at the meeting.

Access

The council is committed to making its meetings accessible. Further details on building access, translation, provision of signers etc for this meeting are on the council's web site: www.southwark.gov.uk or please contact the person below.

Contact: Gerald Gohler / Tim Murtagh on 020 7525 7420 or email:
gerald.gohler@southwark.gov.uk / tim.murtagh@southwark.gov.uk

Members of the committee are summoned to attend this meeting

Eleanor Kelly

Chief Executive

Date: 16 November 2020



Planning Committee

Tuesday 1 December 2020
6.30 pm

Online/Virtual: Members of the public are welcome to attend the meeting. Please contact Constitutional.Team@southwark.gov.uk for a link or telephone dial-in instructions to join the online meeting

Order of Business

| Item No. | Title | Page No. |
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| 1. | APOLOGIES | |
| | To receive any apologies for absence. | |
| 2. | CONFIRMATION OF VOTING MEMBERS | |
| | A representative of each political group will confirm the voting members of the committee. | |
| 3. | NOTIFICATION OF ANY ITEMS OF BUSINESS WHICH THE CHAIR DEEMS URGENT | |
| | In special circumstances, an item of business may be added to an agenda within five clear days of the meeting. | |
| 4. | DISCLOSURE OF INTERESTS AND DISPENSATIONS | |
| | Members to declare any personal interests and dispensation in respect of any item of business to be considered at this meeting. | |
| 5. | MINUTES | 1 - 5 |
| | To approve as a correct record the minutes of the meetings held on 3 November 2020. | |

| Item No. | Title | Page No. |
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| 6. | DEVELOPMENT MANAGEMENT | 6 - 10 |
| 1.1. | 25 LAVINGTON STREET, LONDON SE1 0NA | 11 - 142 |
| 6.2 | 14-22 OSSORY ROAD, LONDON SE1 5AN | 143 - 292 |

EXCLUSION OF PRESS AND PUBLIC

The following motion should be moved, seconded and approved if the committee wishes to exclude the press and public to deal with reports revealing exempt information:

“That the public be excluded from the meeting for the following items of business on the grounds that they involve the likely disclosure of exempt information as defined in paragraphs 1-7, Access to Information Procedure rules of the Constitution.”

Date: 16 November 2020

Planning Committee

Guidance on conduct of business for planning applications, enforcement cases and other planning proposals (virtual meetings)

Please note:

The council has made the following adaptations to the committee process to accommodate virtual meetings:

- The agenda will be published earlier than the statutory minimum of five working days before the meeting. We will aim to publish the agenda ten clear working days before the meeting.
- This will allow those wishing to present information at the committee to make further written submissions in advance of the meeting in order to:
 - Correct any factual information in the report
 - Confirm whether their views have been accurately reflected in the report
 - Re-emphasise the main points of their comments
 - Suggest conditions to be attached to any planning permission if granted.
- **Those wishing to speak at the meeting should notify the constitutional team at Constitutional.Team@southwark.gov.uk in advance of the meeting by 5pm on the working day preceding the meeting.**

1. The reports are taken in the order of business on the agenda.
2. The officers present the report and recommendations and answer points raised by members of the committee.
3. The role of members of the planning committee is to make planning decisions openly, impartially, with sound judgement and for justifiable reasons in accordance with the statutory planning framework.
4. The following may address the committee (if they are present in the virtual meeting and wish to speak) for **not more than three minutes each**. **Speakers must notify the constitutional team at Constitutional.Team@southwark.gov.uk in advance of the meeting by 5pm on the working day preceding the meeting.**

- (a) One representative (spokesperson) for any objectors. If there is more than one objector wishing to speak, the time is then divided within the three-minute time slot.
- (b) The applicant or applicant's agent.
- (c) One representative for any supporters (who live within 100 metres of the development site). If there is more than one supporter (who lives within 100 metres of the development site) wishing to speak, the time is divided within the 3-minute time slot.
- (d) Ward councillor (spokesperson) from where the proposal is located.

(e) The members of the committee will then debate the application and consider the recommendation.

Note: Members of the committee may question those who speak only on matters relevant to the roles and functions of the planning committee that are outlined in the constitution and in accordance with the statutory planning framework.

5. If there are a number of people who are objecting to, or are in support of, an application or an enforcement of action, you are requested to identify a representative to address the committee. If more than one person wishes to speak, the three-minute time allowance must be divided amongst those wishing to speak. Where you are unable to decide who is to speak in advance of the meeting, the chair will ask which objector(s)/supporter(s) would like to speak at the point the actual item is being considered. The clerk will put all objectors who agree to this in touch with each other, so that they can arrange a representative to speak on their behalf at the meeting. The clerk will put all supporters who agree to this in touch with each other, so that they can arrange a representative to speak on their behalf at the meeting.
6. Speakers should lead the committee to subjects on which they would welcome further questioning.
7. Those people nominated to speak on behalf of objectors, supporters or applicants, as well as ward members, will be speaking in their designated time-slots only, apart from answering brief questions for clarification; this is **not** an opportunity to take part in the debate of the committee.
8. Each speaker should restrict their comments to the planning aspects of the proposal and should avoid repeating what is already in the report. The meeting is not a hearing where all participants present evidence to be examined by other participants.
9. This is a council committee meeting to which is open to the public and there should be no interruptions from members of the public.
10. Members of the public are welcome to record, screenshot, or tweet the public proceedings of the meeting.
11. Please be considerate towards other people and take care not to disturb the proceedings.
12. This meeting will be recorded by the council and uploaded to the Southwark Council YouTube channel the day after the meeting.

The arrangements at the meeting may be varied at the discretion of the chair.

Contacts: General Enquiries
Planning Section, Chief Executive's Department
Tel: 020 7525 5403

FOR ACCESS TO THE VIRTUAL MEETING (ONLINE/BY TELEPHONE)

PLEASE CONTACT:

Planning Committee Clerk, Constitutional Team
Finance and Governance

Tel: 020 7525 7420 or email: gerald.gohler@southwark.gov.uk

REMOTE MEETING ETIQUETTE FOR PARTICIPANTS

Members of the committee, other councillors who seek to address the committee, officers advising the committee or presenting reports, any external partners / third-parties invited to address or advise the committee, co-optees and any members of the public who have registered to speak at the meeting are asked to adhere to the following guidelines:

Preparing for the meeting

1. If you are planning to attend, please make sure you have informed the constitutional/scrutiny officer named on the agenda front sheet, so that a full list of those expected at the meeting can be prepared and you are sent the joining instructions.
2. Ensure that you are located in an area where you are unlikely to be disturbed.
3. Ensure that your broadband connection is sufficiently stable to join the meeting. If your connection has low bandwidth, you might need to ask others using your broadband connection to disconnect their devices from the broadband for the duration of the meeting. If this does not help, you may wish to try connecting your device to your router using an Ethernet cable.
4. When accessing the meeting using a private laptop or desktop computer, you will need to use the link you have been provided with outside of the Soutwark CITRIX environment.
5. Ensure that your background is neutral (a blank wall is best) and that you are dressed as though you attend a meeting that is open to the public in real life.
6. If you decide to switch on your camera, please ensure that the camera on the device that you are using is positioned to provide a clear view of your face. This may involve thinking about the lighting in the room you are in (for example, sitting in front of a window may plunge your face into shadow) or putting your webcam, laptop or tablet on top of a stack of books so that you can look straight into the camera.
7. Ensure that you are familiar with the functions of the software you are using. The constitutional/scrutiny officer will be online 10 minutes before the scheduled start of the meeting to give everyone time to join and deal with any technical challenges. Please try to join the meeting at least 5 minutes before the meeting start time to make sure that everything is working. Ideally, you should use earphones or a headset to participate in meetings as it reduces the risk of feedback from using your device's external speaker and reduces background noise from your surroundings. Please do not access the meeting with two devices simultaneously, or if this is unavoidable, please ensure you mute the microphones when not speaking, and turn down the speakers when you are speaking. This will avoid feedback.
8. Meeting participants that choose to join the meeting using the conference call facility will not be able to use video, view other participant's video, or see any documents that are shared using the screen sharing function. [Planning meeting only: The chair has ruled that the meeting will not accept members of the committee participating using a telephone connection alone.]

At the meeting

9. Join the meeting promptly to avoid unnecessary interruptions.
10. When joining the virtual meeting, please mute your microphone and switch off your camera until the chair opens the meeting formally.

11. Mute your microphone when you are not speaking. You may also want to turn off your video when not speaking in order to reduce the bandwidth needed. Participants joining the meeting from a mobile phone can unmute themselves by pressing *6 on their device.
12. The regulations state that for members to be considered to be in attendance at a virtual meeting, they have to be able to hear the proceedings, and the meeting has to be able to hear them. You can therefore choose to switch off your camera even when speaking, for privacy reasons, if you prefer.
13. Only speak when invited to do so by the Chair.
14. When speaking for the first time, please state your name.
15. Keep comments, questions and other contributions brief and to the point.
16. If referring to a specific page on the agenda, mention the page number or paragraph number.
17. The 'chat' function must only be used by committee members to indicate a wish to speak. It is not to be used for conversations and should be used in an appropriate and professional manner at all times.
18. Once the Chair closes the meeting, all remaining participants should leave the meeting promptly.
- 19.

Exempt or confidential items / closed session

Occasionally, committees may need to go into closed session to consider information that is confidential or exempt from publication. If this happens, the committee will pass a resolution to that effect, and for those meetings that are being livestreamed, the livestream will be cut.

20. If you are asked to leave the meeting, please end your connection promptly. Any connections that are not ended promptly will be terminated by the constitutional/scrutiny officer.
21. Members of the committee should ensure that, if the meeting goes into closed session, they are on their own and cannot be overheard in the place they are accessing the closed session from.
22. After the motion to go into closed session has been passed, members should exit the main meeting and re-join the "Briefing/Closed session" Teams meeting. Once the closed session has ended, members should re-join the main meeting by clicking on the link to the main meeting they initially used.

LIVESTREAMING / RECORDING NOTICE

This meeting will be livestreamed, and recorded for future viewing, on the council's YouTube channel (except where there are confidential or exempt items being discussed in closed session):

https://www.youtube.com/channel/UCqgAueevJzRUGB_eAZia0xw

The livestream/recording will also be paused when the meeting adjourns.

If you make a representation to the meeting and you do not switch off your camera, you will be deemed by the council to have consented to being filmed and to the possible use of those images and sound recordings for webcasting, recording of the meeting and/or training purposes. (If you switch off your camera while making a representation, you will equally be deemed by the council to have consented to the sound being recorded, webcast and/or used for training purposes.)

Members of the public are welcome to make their own recordings or take screenshots of this remote meeting. The council will only seek to prevent this, should it be undertaken in a disruptive or otherwise inappropriate manner. Please see the council's filming protocol at:

<http://moderngov.southwarksites.com/ecSDDisplay.aspx?NAME=Protocol%20for%20Reporting%20and%20Filming&ID=1036&RPID=0&sch=doc&cat=13184&path=13184>

If you have any queries regarding the livestreaming or the recording of meetings, please contact the constitutional/scrutiny team on 020 7525 7420.



Planning Committee

MINUTES of the virtual Planning Committee held on Tuesday 3 November 2020 at 6.30 pm.

PRESENT: Councillor Martin Seaton (Chair)
 Councillor Darren Merrill (Vice-Chair)
 Councillor Richard Livingstone
 Councillor Damian O'Brien
 Councillor Dan Whitehead
 Councillor Kath Whittam
 Councillor Bill Williams

OTHER MEMBERS PRESENT: Councillor Radha Burgess
 Councillor Graham Neale

OFFICER SUPPORT: Simon Bevan (Director of Planning)
 Jon Gorst (Legal Officer)
 Yvonne Lewis (Development Management)
 Sonia Watson (Development Management)
 Gemma Usher (Development Management)
 Michael Tsoukaris (Design and Conservation)
 Catherine Jeater (Design and Conservation)
 Martin McKay (Design and Conservation)
 Alex Oyebade (Transport Policy)
 Gerald Gohler (Constitutional Officer)

1. APOLOGIES

There were apologies for absence from Councillor Cleo Soanes.

2. CONFIRMATION OF VOTING MEMBERS

Those members listed as present were confirmed as the voting members for the meeting.

3. NOTIFICATION OF ANY ITEMS OF BUSINESS WHICH THE CHAIR DEEMS URGENT

The chair announced that the following additional documents had been circulated before the meeting:

1. Supplemental Agenda No.1 containing item 6.2
2. Supplemental Agenda No.2 containing:
 - Members' pack
 - the addendum report relating to items 6.1 and 6.2

4. DISCLOSURE OF INTERESTS AND DISPENSATIONS

There were none.

5. MINUTES

RESOLVED:

That the minutes of the meetings held on 20 July 2020 (2pm), 8 September 2020, 29 September 2020 and 6 October 2020 be approved as correct records of the meetings and signed by the chair.

6. DEVELOPMENT MANAGEMENT

RESOLVED:

1. That the determination of planning applications, or formal observations and comments, the instigation of enforcement action and the receipt of the reports included in the agenda be considered.
2. That the decisions made on the planning applications be subject to the conditions and/or made for the reasons set out in the reports unless otherwise stated.
3. That where reasons for decisions or conditions are not included or not as included in the reports relating to an individual item, they can be clearly specified.

6.1 FELIX POST UNIT AND OLD AGE PSYCHIATRY BUILDING, MAUDSLEY HOSPITAL, DENMARK HILL, LONDON SE5 8AZ

Planning application number: 20/AP/1302

PROPOSAL

Demolition of existing buildings and construction of new centre for Children and Young People to include outpatients, inpatients, school, research and clinical floorspace, associated roof terraces, cycle parking, services compound and landscaping

The committee heard the officer's introduction to the report and addendum report.

Members of the committee asked questions of the officers.

There were no objectors wishing to address the committee.

The applicant's representatives addressed the committee, and answered questions put by the committee.

There were no supporters who lived within 100 metres of the development site and wished to speak.

Councillor Radha Burgess addressed the meeting in her capacity as a ward councillor, and answered questions put by the committee.

At 7.40pm the meeting took a five-minute screen break.

Following this, the committee put further questions to the officers and discussed the application.

A motion to grant the application was moved, seconded, put to the vote and declared carried.

RESOLVED:

1. That planning permission be granted, subject to:
 - The recommended planning conditions, as set out in the report and addendum report;
 - The applicant entering into an appropriate legal agreement by no later than 31 March 2021
 - Referral to the Mayor of London.
2. That in the event that the legal agreement is not entered into by 31 March 2021 the director of planning be authorised to refuse planning permission for 20/AP/1302, if appropriate, for the reasons set out in paragraph 203 of the report.

6.2 SKIPTON HOUSE, 80 LONDON ROAD, LONDON SE1 6LH

Planning application number: 18/AP/4194

PROPOSAL

Part retention, part demolition, reconfiguration and re-cladding of existing building and extension to create six additional storeys to accommodate office space (Use Class B1) at upper floor levels, a gym (Use Class D2) and flexible retail/commercial uses (Use Class A1/A2/A3) at ground floor level with associated cycle parking, landscaping, ancillary servicing and plant and all associated works.

The committee heard the officer's introduction to the report and addendum report.

Members of the committee asked questions of the officers.

There were no objectors wishing to address the committee.

The applicant's representatives addressed the committee, and answered questions put by the committee.

There were no supporters who lived within 100 metres of the development site and wished to speak.

At 8.45pm, the meeting took a five-minute screen break.

Following this, Councillor Graham Neale addressed the meeting in his capacity as a ward councillor, and answered questions put by the committee.

The committee put further questions to the officers and discussed the application.

A motion to grant the application was moved, seconded, put to the vote and declared carried.

RESOLVED:

1. That planning permission be granted, subject to
 - a. the conditions set out in the report and the addendum report, including an amended landscaping condition requiring the applicant use porous materials for the hardstanding areas
 - b. referral to the Mayor of London and
 - c. the applicant entering into an appropriate legal agreement.
2. In the event that the requirements of (1) are not met by 12 March 2021 that the director of planning be authorised to refuse planning permission, if appropriate, for the reasons set out at paragraph 196 of the report.
3. That an informative be added stipulating that the legal agreement needs to

address the appointment of a biodiversity champion satisfactorily.

The meeting ended at 9.10 pm.

CHAIR:

DATED:

| | | | |
|------------------------------------|--------------------------------|---------------------------------|--|
| Item No. 6. | Classification: Open | Date: 1 December 2020 | Meeting Name: Planning Committee |
| Report title: | | Development Management | |
| Ward(s) or groups affected: | | All | |
| From: | | Proper Constitutional Officer | |

RECOMMENDATIONS

1. That the determination of planning applications, or formal observations and comments, the instigation of enforcement action and the receipt of the reports included in the attached items be considered.
2. That the decisions made on the planning applications be subject to the conditions and/or made for the reasons set out in the attached reports unless otherwise stated.
3. That where reasons for decisions or conditions are not included or not as included in the reports relating to an individual item, they be clearly specified.

BACKGROUND INFORMATION

4. The council's powers to consider planning business are detailed in Part 3F which describes the role and functions of the planning committee and planning sub-committees. These were agreed by the annual meeting of the council on 23 May 2012. The matters reserved to the planning committee and planning sub-committees exercising planning functions are described in part 3F of the Southwark Council constitution.

KEY ISSUES FOR CONSIDERATION

5. In respect of the attached planning committee items members are asked, where appropriate:
 - a. To determine those applications in respect of site(s) within the borough, subject where applicable, to the consent of the Secretary of State for Housing, Communities and Local Government and any directions made by the Mayor of London.
 - b. To give observations on applications in respect of which the council is not the planning authority in planning matters but which relate to site(s) within

the borough, or where the site(s) is outside the borough but may affect the amenity of residents within the borough.

- c. To receive for information any reports on the previous determination of applications, current activities on site, or other information relating to specific planning applications requested by members.
6. Each of the following items are preceded by a map showing the location of the land/property to which the report relates. Following the report, there is a draft decision notice detailing the officer's recommendation indicating approval or refusal. Where a refusal is recommended the draft decision notice will detail the reasons for such refusal.
7. Applicants have the right to appeal to Planning Inspector against a refusal of planning permission and against any condition imposed as part of permission. Costs are incurred in presenting the council's case at appeal which maybe substantial if the matter is dealt with at a public inquiry.
8. The sanctioning of enforcement action can also involve costs such as process serving, court costs and of legal representation.
9. Where either party is felt to have acted unreasonably in an appeal the inspector can make an award of costs against the offending party.
10. All legal/counsel fees and costs as well as awards of costs against the council are borne by the budget of the relevant department.

Community impact statement

11. Community impact considerations are contained within each item.

SUPPLEMENTARY ADVICE FROM OTHER OFFICERS

Director of Law and Democracy

12. A resolution to grant planning permission shall mean that the director of planning is authorised to grant planning permission. The resolution does not itself constitute the permission and only the formal document authorised by the committee and issued under the signature of the director of planning shall constitute a planning permission. Any additional conditions required by the committee will be recorded in the minutes and the final planning permission issued will reflect the requirements of the planning committee.
13. A resolution to grant planning permission subject to legal agreement shall mean that the director of planning is authorised to issue a planning permission subject to the applicant and any other necessary party entering into a written

agreement in a form of words prepared by the director of law and democracy, and which is satisfactory to the director of planning. Developers meet the council's legal costs of such agreements. Such an agreement shall be entered into under section 106 of the Town and Country Planning Act 1990 or under another appropriate enactment as shall be determined by the director of law and democracy. The planning permission will not be issued unless such an agreement is completed.

14. Section 70 of the Town and Country Planning Act 1990 as amended requires the council to have regard to the provisions of the development plan, so far as material to the application, and to any other material considerations when dealing with applications for planning permission. Where there is any conflict with any policy contained in the development plan, the conflict must be resolved in favour of the policy which is contained in the last document to be adopted, approved or published, as the case may be (s38(5) Planning and Compulsory Purchase Act 2004).
15. Section 38(6) of the Planning and Compulsory Purchase Act 2004 provides that where, in making any determination under the planning Acts, regard is to be had to the development plan, the determination shall be made in accordance with the plan unless material considerations indicate otherwise. The development plan is currently Southwark's Core Strategy adopted by the council in April 2011, saved policies contained in the Southwark Plan 2007, the where there is any conflict with any policy contained in the development plan, the conflict must be resolved in favour of the policy which is contained in the last document to be adopted, approved or published, as the case may be (s38(5) Planning and Compulsory Purchase Act 2004).
16. On 15 January 2012 section 143 of the Localism Act 2011 came into force which provides that local finance considerations (such as government grants and other financial assistance such as New Homes Bonus) and monies received through CIL (including the Mayoral CIL) are a material consideration to be taken into account in the determination of planning applications in England. However, the weight to be attached to such matters remains a matter for the decision-maker.
17. "Regulation 122 of the Community Infrastructure Levy regulations (CIL) 2010, provides that "a planning obligation may only constitute a reason for granting planning permission if the obligation is:
 - a. necessary to make the development acceptable in planning terms;
 - b. directly related to the development; and
 - c. fairly and reasonably related to the scale and kind to the development.

A planning obligation may only constitute a reason for granting planning permission if it complies with the above statutory tests."

18. The obligation must also be such as a reasonable planning authority, duly appreciating its statutory duties can properly impose i.e. it must not be so unreasonable that no reasonable authority could have imposed it. Before resolving to grant planning permission subject to a legal agreement members should therefore satisfy themselves that the subject matter of the proposed agreement will meet these tests.
19. The National Planning Policy Framework (NPPF) came into force on 27 March 2012. The NPPF replaces previous government guidance including all planning practice guidance (PPGs) and planning policy statements (PPSs). For the purpose of decision-taking policies in the Core Strategy (and the London Plan) should not be considered out of date simply because they were adopted prior to publication of the NPPF. For 12 months from the day of publication, decision-takers may continue to give full weight to relevant policies adopted in accordance with the Planning and Compulsory Purchase Act (PCPA) 2004 even if there is a limited degree of conflict with the NPPF.
20. In other cases and following and following the 12 month period, due weight should be given to relevant policies in existing plans according to their degree of consistency with the NPPF. This is the approach to be taken when considering saved plan policies under the Southwark Plan 2007. The approach to be taken is that the closer the policies in the Southwark Plan to the policies in the NPPF, the greater the weight that may be given.

BACKGROUND DOCUMENTS

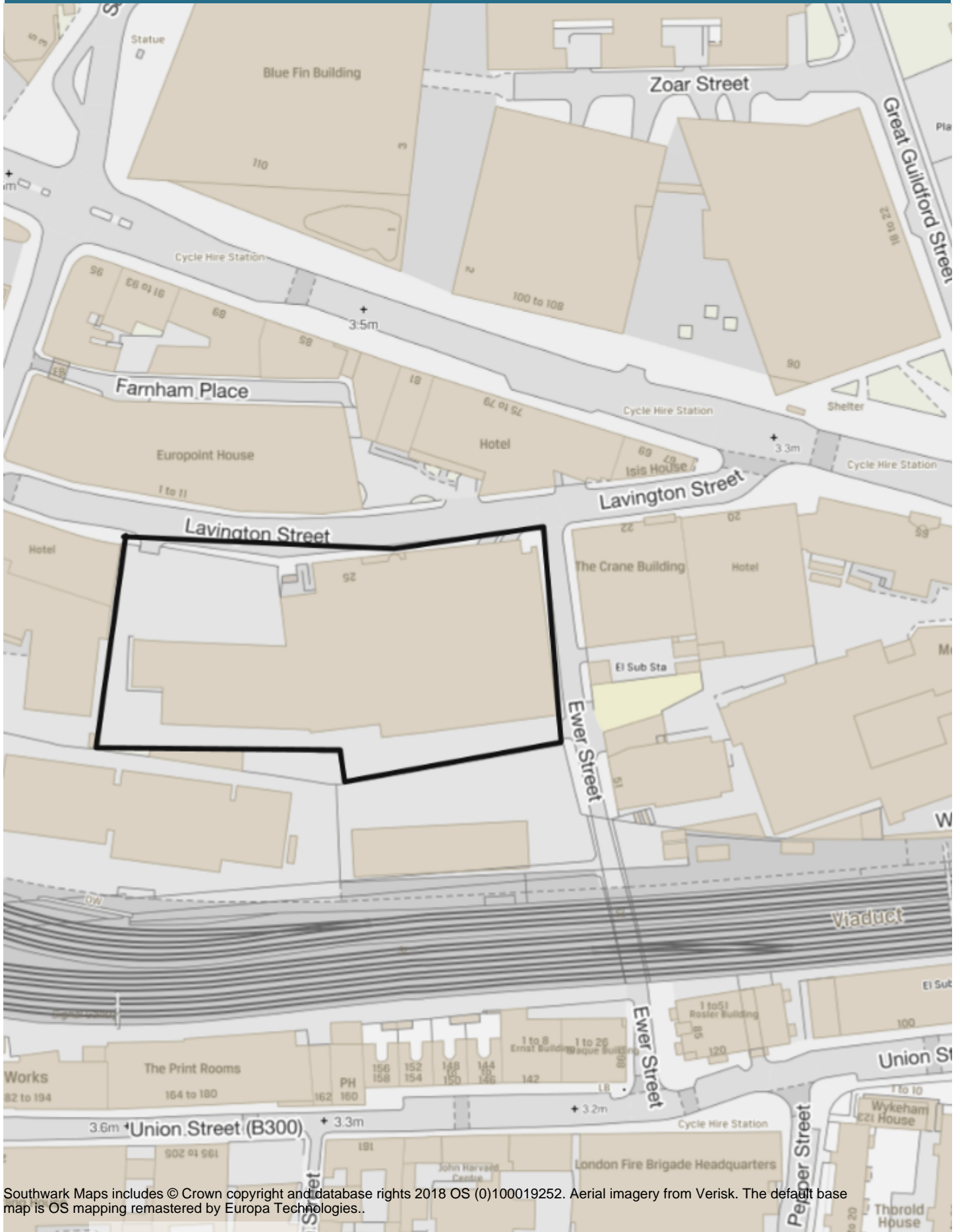
| Background Papers | Held At | Contact |
|--|--|--------------------------------------|
| Council assembly agenda 23 May 2012 | Constitutional Team 160 Tooley Street London SE1 2QH | Virginia Wynn-Jones 020 7525 7055 |
| Each planning committee item has a separate planning case file | Development Management 160 Tooley Street London SE1 2QH | Planning Department 020 7525 5403 |

APPENDICES

| No. | Title |
|------|-------|
| None | |

AUDIT TRAIL

| | | |
|---|---|--------------------------|
| Lead Officer | Chidilim Agada, Head of Constitutional Services | |
| Report Author | Gerald Gohler, Constitutional Officer Jonathan Gorst, Head of Regeneration and Development | |
| Version | Final | |
| Dated | 13 November 2020 | |
| Key Decision? | No | |
| CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER | | |
| Officer Title | Comments sought | Comments included |
| Director of Law and Democracy | Yes | Yes |
| Director of Planning | No | No |
| Cabinet Member | No | No |
| Date final report sent to Constitutional Team | | 13 November 2020 |



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| Item No. 6.1 | Classification: OPEN | Date: 1 December 2020 | Meeting Name: Planning Committee |
| Report title: | <p>Development Management planning application: Application 20/AP/1009 for: Full Planning Application</p> <p>Address: 25 LAVINGTON STREET, SOUTHWARK, LONDON, SE1 0NA.</p> <p>Proposal: Redevelopment of the site including partial demolition of existing buildings and erection of two buildings including basement and above ground development of 10 and 15 storeys (in addition to plant) to provide office use (Class B1), retail use (Class A1), flexible retail and leisure (A1/A3, A3/A4, D2/A3/A4), landscaping, public realm, highway works, disabled car parking, cycle parking, plant and associated works.</p> | | |
| Ward(s) or groups affected: | Borough and Bankside | | |
| From: | Terence McLellan | | |
| Application Start Date | 30.04.2020 | PPA Expiry Date | 31.03.2021 |
| Earliest Decision Date | 23.07.2020 | | |

RECOMMENDATION

1. That the Planning Committee grant planning permission subject to conditions, the applicant entering into an appropriate legal agreement and referral to the Mayor of London.
2. In the event that the requirements of paragraph 1 above are not met by 31 March 2021, the Director of Planning be authorised to refuse planning permission, if appropriate, for the reasons set out under paragraph 247.

EXECUTIVE SUMMARY

3. In January 2018, the Planning Committee resolved to grant planning permission for the redevelopment of the application site to provide housing, offices and some retail floor space in buildings up to 21 storeys in height. During the course of negotiating the Legal Agreement after committee, the developer sold the site to the current applicant, who withdrew the application in order to proceed with a commercial led scheme which is now the subject of the current application.
4. The current proposal is for an office-led mixed-use development with new retail and leisure space on a large, centrally located and accessible

brownfield site located on Lavington Street. The two existing buildings on the site have been much altered over the years and whilst they are still in use they are inefficient by modern office standards.

5. The proposal would seek to retain one of the existing buildings and undertake significant works to refurbish and re-purpose it. This would include a new five storey vertical extension and internal reconfiguration to provide high quality office space with two retail units at ground floor. The development would also see the removal of the second building and redevelopment to provide a new 15 storey office building with some retail and leisure use at ground floor.
6. At street level the proposed buildings would be much more engaging with active frontages and visual interest along Lavington Street and the new central public realm. Pavement widths would be increased and a much more pleasant environment for pedestrians would be created.
7. The development would result in the creation of a generous and well lit central public space located between the two buildings and accessed from Lavington Street. In addition to providing a high quality and well planted open space, the public realm would provide access to the railway viaduct, opening up a new section of the low line and providing a new pedestrian route from Lavington Street to Ewer Street.
8. The design of the proposed development is considered to be high quality and the office space being provided would meet modern requirements. The development would include 10% of the uplift in office floorspace as affordable workspace which would meet the demands of micro to medium sized businesses as well as start-ups and enterprises looking to expand.
9. The site is located in the Central Activities Zone, the Bankside Borough and London Bridge Opportunity Area and the Bankside and Borough District Town Centre, and is allocated in the New Southwark Plan as NSP01. The proposals are consistent with the objectives of the development plan for this area.
10. The impact on the amenity of neighbours in terms of privacy, outlook and impact on natural light is set out in the report, and it is concluded that whilst there will be some limited impacts, these would be consistent with the character of the area and would be in line with the flexibility expected by the BRE when looking at dense urban environments
11. The Impact on the highway network, public transport and sustainability are also assessed in the report, and no significant harm is identified which would warrant withholding planning permission, provided that suitable mitigation is secured through conditions and the s106 agreement.
12. Following neighbour consultation, one letter of objection was received setting out objections on the basis of noise, nuisance and disturbance.

BACKGROUND INFORMATION

Site location and description

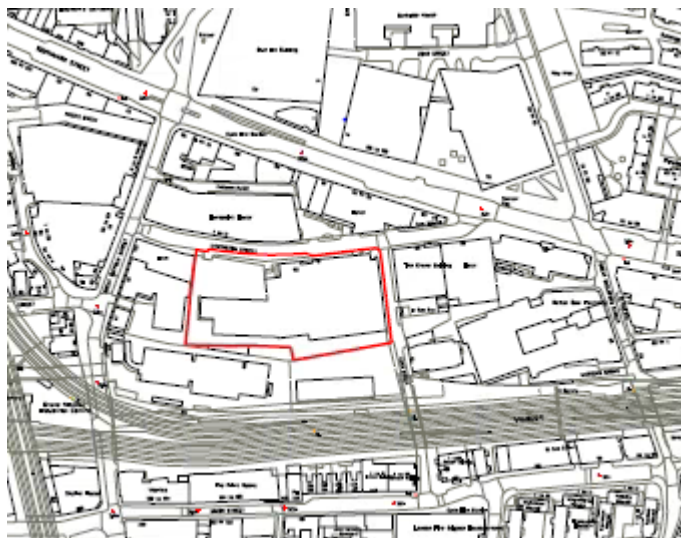
13. The application site is a 0.65 hectare rectangular plot located at 25 Lavington Street which is currently occupied by two linked buildings (known as east and west) that rise to five storeys. The buildings are partially set back from Lavington Street at the western end of the site resulting in an open courtyard which is used for car parking and servicing. The original buildings date from the 1950s and were initially in use as a print works although there have been later additions. The buildings were subsequently converted to office use and are currently leased to Sustainable Ventures who are a provider of workspace for sustainable businesses and another business named The Photographic Angle.
14. Due to their original use as an industrial print works, the buildings have large volumes of space which would have been appropriate for housing printing presses and other large scale machinery necessary for the original function. This space has been modified over the years in order to provide space for office use including the introduction of mezzanines, cellular offices and raised floors. The existing buildings are therefore much altered and inefficient by modern standards. They are poorly arranged with deep floorplates that are further interrupted by large columns and circulation spaces which in turn impede access to natural light.

Image – Existing building



15. The site is located within the Central Activities Zone and is surrounded by mixed commercial and residential uses including hotels, offices, student accommodation and flatted dwellings. The site has street frontages onto Lavington Street and Ewer Street and is bound to the south by Network Rail offices and the Grand Vitesse railway viaduct which dates from 1836. Further to the west is Great Suffolk Street. Principal road routes located close to the site include Southwark Street and Blackfriars Road. Southwark Underground Station lies approximately 480m to the west whilst Blackfriars Station is the closest mainline railway station to the site, being located to the north at a distance of approximately 600m.

Site Plan



16. Building heights within the immediate area range from two storeys up eight/ten storeys, with some taller elements within the wider area such as Neo Bankside at 24 storeys. Taller developments that have been consented and are in the early stages of construction include the development at Ludgate House and Sampson House which rises to 49 storeys and the development site known as 18 Blackfriars which includes buildings up to 53 storeys in height.
17. As previously mentioned, the railway viaduct site to the south is owned by Network Rail. Prefabricated offices (for use by Network Rail) are located on the surface of the viaduct alongside some car parking. At ground level the space is used as a car park. Access to the offices for pedestrians is via an entrance on Great Suffolk Street whilst vehicles gain access via a ramp starting on Dolben Street. The pre-fabricated offices benefit from a temporary consent which will expire in March 2024. Beyond that Network Rail have aspirations to develop the site however no firm proposals have been brought forward to date and the Council is not currently in any pre-application discussions regarding the site.

Details of proposal

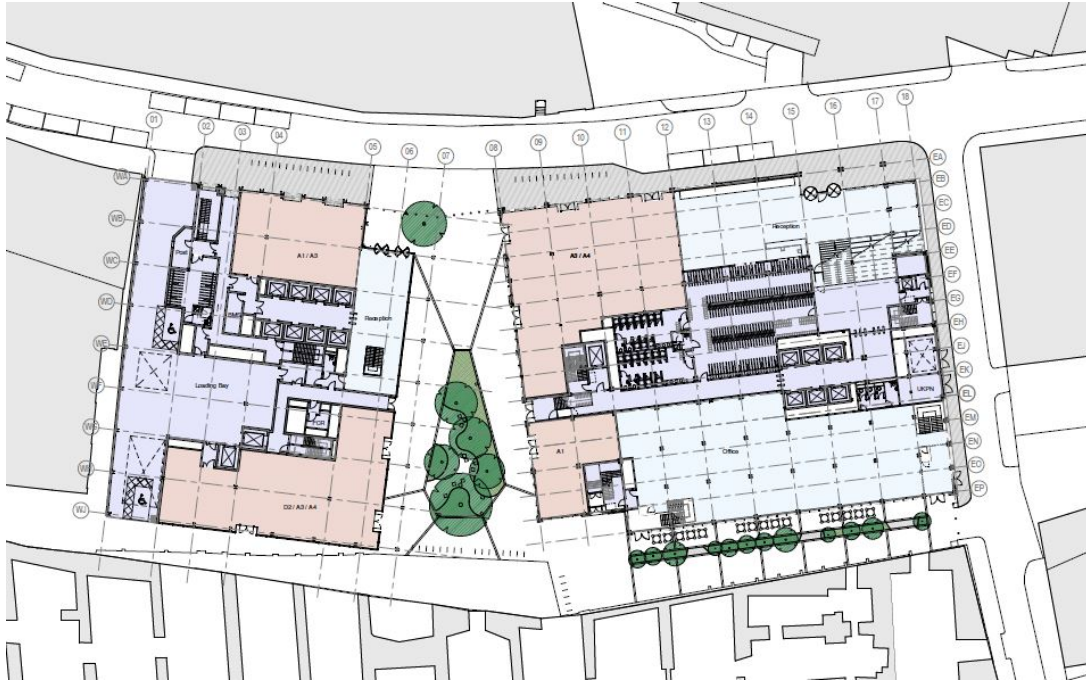
18. Planning consent is sought for the complete demolition of the West Building and redevelopment of the site with a retained and extended East building to provide two separate buildings arranged around a new central public realm

that would also provide a new pedestrian route linking Lavington Street to the railway arches and Ewer Street. The proposed quantum of floorspace is set out as follows:

| Proposed Use | Proposed Floorspace (sqm GIA) |
|-------------------------|-------------------------------|
| Class B1 Office | 50,155 |
| Class A1 Retail | 138 |
| Flexible Class A1/A3 | 214 |
| Flexible Class A3/A4 | 615 |
| Flexible Class A3/A4/D2 | 642 |
| Total | 51,764 |

19. The West Building would be completely demolished and replaced with a new 15 storey building with two levels of basement. This building would principally be Class B1 office space however there would be two commercial units at ground floor. The first commercial unit would face onto Lavington Street and would be for Class A1/A3 (retail/café/restaurant) use. The second retail unit would have frontages onto the new public realm and the railway arches as well as extending down into the basement and would be for Class A3/A4/D2 (drinking/dining/leisure) use.
20. The lower six storeys of the East Building would be retained, with a four storey extension which would bring the East Building to ten storeys plus a lower ground floor and basement. This building would also be primarily in Class B1 office use although there would be a Class A3/A4 retail unit on the corner of Lavington Street and the new central public realm which would also extend to basement level. A further smaller Class A1 retail unit would be located to the rear corner of the East Building, fronting the new public realm and the railway arches.
21. Both buildings would be linked below ground at upper basement level. There would be a vehicular access to the new West Building from Lavington Street and this would provide access to a loading bay which would be used to service the entire development through the linked basements.

Image – Proposed ground floor layout



22. The development is proposed as car free with the exception of two accessible car parking spaces which would be provided within the site alongside 805 cycle parking spaces.

Planning history

23. On the 30 January 2018, the Planning Committee resolved to grant planning consent to application 16/AP/2668 for:
24. *Demolition of existing buildings and redevelopment of the site to provide a 10 storey (plus basement) commercial building with two flexible A1/A3/B1 units at ground/basement level and B1 floorspace on all upper levels and accessible parking/vehicular access and servicing from Ewer Street; 170 apartments in three residential buildings at 8, 13 and 21 storeys (plus basement, including roof plant) with a flexible A1/A3/B1 unit at basement/ground floor level; parking/vehicular access from Lavington Street; 3 mews houses (3 storeys); new public realm; hard and soft landscaping; pedestrian routes; alterations to the public highways including widened footways, relocated parking and service bays, tree planting, resurfacing and associated works.*
25. Following the resolution to grant consent, officers commenced negotiations with the applicant on the S106 Agreement in order to prepare the application for Stage II referral to the Mayor of London. During the course of these negotiations, the developer sold the site to the current applicant, who withdrew the application in order to proceed with a commercial-led scheme which is now the subject of the current application. As such, no decision was ever issued on application 16/AP/2668.

Image – Resolution scheme



26. Following withdrawal of the resolution scheme, the applicant undertook a detailed pre-application exercise with the Council. This was an ongoing and iterative process involving a series of meetings in order to resolve outstanding issues regarding height, scale, massing, detailed design and public realm.

Planning history of adjoining or nearby sites

27. 18/AP/1603 – Sampson House, 64 Hopton Street, SE1 9JH
 Redevelopment to create two levels of basement and the erection of five buildings ranging from seven to 34 storeys plus plant (heights ranging from 28.9m AOD 123.9m AOD) to provide: 341 dwellings (Class C3); 8,054sqm (GIA) of office space (Class B1); 1,436sqm (GIA) of retail floorspace (Class A1-A4); 904sqm (GIA) of cultural floorspace (Class D1/D2); 16,254sqm (GIA) hotel with up to 126 rooms (Class C1); new open space; reconfigured vehicular and pedestrian access; highway works; landscaping; basement car park for 107 cars (including 29 disabled car parking spaces), plus servicing and plant areas; and works associated and ancillary to the proposed development.
 Decision: Resolved to Grant Permission subject to S106 and Mayoral Referral.
 Decision date: 24/02.2020
 This application is with the Greater London Authority as part of the Stage II Mayoral Referral process.
28. 16/AP/5239 – Land at 18 Blackfriars Road
 Redevelopment of site to create four levels of basement and the erection of six buildings ranging from five to 53 storeys plus plant (heights ranging from 23.1m AOD - 183.5m AOD) to provide; office space (Class B1); 548 room hotel (Class C1); 288 residential units (Class C3); flexible retail uses (Classes A1/A2/A3/A4); restaurant (Class A3); music venue (Class D2);

storage (Class B8); new landscaping and public realm; reconfigured vehicular and pedestrian access; associated works to public highway; ancillary servicing and plant; car parking and associated works.

Decision: Granted with Legal Agreement

Decision date: 19/07/2017

This development has been implemented and is in the early stages of construction.

29. 13/AP/2075 – Isis House, 67-69 Southwark Street
Demolition of existing building and erection of a part 13, part 16 storey building comprising a retail unit on the ground floor (Use Class A1) and 9 self-contained residential units above (Use Class C3).
Decision – Granted with Legal Agreement
Decision date: 06/05/2014
This development has now been completed.
30. 12/AP/3940 – Ludgate House (Blackfriars Road) and Sampson House (Hopton Street).
Demolition of existing buildings and the construction of a mixed use development totalling 144,622 sq.metres GEA comprising 489 flats (Class C3), 45,378 sqm (including basement) of offices (Class B1), 2,627sqm of retail (Classes A1-A5), 1,969sqm of community uses (Class D1) and 1,014sqm of gym (Class D2). New open space including formation of two new east-west routes, new public square, reconfigured vehicular and pedestrian access and works to the public highway with associated works including landscaping and basement car park for 200 cars (including 54 disabled car parking spaces) plus servicing and plant areas. Change of use of the railway arches from a nightclub to retail, gym and community uses. Configuration of the toilet block for retail uses and toilets.
31. The development contains of 9 new buildings: Ludgate A: 13 storeys (62.08m AOD), Ludgate B: 49 storeys (169.60m AOD), Ludgate C: 15 storeys (73m AOD), Sampson A: 17 storeys (62.85m AOD), Sampson B: 31 storeys, (112.10m AOD), Sampson C: 27 storeys (98.30m AOD), Sampson D: 14 storeys (60.80m AOD), Sampson E: 5 storeys (24.6m AOD), Sampson F: 6 storeys (28.9m AOD).
Decision: Granted with Legal Agreement
Decision date: 08/10/2013
This development has been implemented and is currently under construction.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

32. The main issues to be considered in respect of this application are:
- Principle of the proposed development in terms of land use;
 - Affordable workspace

- Design, layout, heritage assets and impact on Borough and London views;
- Landscaping and trees;
- Impact of proposed development on amenity of adjoining occupiers and surrounding area;
- Transport and highways;
- Noise;
- Energy and sustainability;
- Ecology and biodiversity;
- Air quality;
- Ground conditions and contamination;
- Water resources and flood risk;
- Archaeology;
- Wind microclimate;
- Planning obligations (S.106 undertaking or agreement);
- Mayoral and borough community infrastructure levy (CIL);
- Community involvement and engagement;
- Consultation responses, and how the application addresses the concerns raised;
- Community impact and equalities assessment;
- Human rights;
- All other relevant material planning considerations

33. These matters are discussed in detail in the 'Assessment' section of this report.

Legal Context

34. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2016, the Core Strategy 2011, and the Saved Southwark Plan 2007. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires decision-makers determining planning applications for development within Conservation Areas to pay special attention to the desirability of preserving or enhancing the character or appearance of that area. Section 66 of the Act also requires the Authority to pay special regard to the desirability of preserving listed buildings and their setting or any features of special architectural or historic interest which they possess.

35. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections below and in the overall assessment at the end of the report.

Planning policy

36. The statutory development plans for the Borough comprise the London Plan 2016, Southwark Core Strategy 2011, and saved policies from The Southwark Plan (2007 - July). The National Planning Policy Framework (2019) and emerging policies constitute material considerations but are not

part of the statutory development plan.

The site is located within the:

- Air Quality Management Area
- Bankside, Borough and London Bridge Strategic Cultural Area
- Bankside, Borough and London Bridge Opportunity Area
- Archaeological Priority Zone
- Central Activities Zone
- Bankside and Borough District Town Centre
- Proposal Site NSP01

37. The site has a Public Transport Accessibility Level (PTAL) of 6b where 1 is the lowest level and 6b the highest, indicating excellent access to public transport.
38. The site is located within Flood Zone 3 as identified by the Environment Agency flood map, which indicates a high probability of flooding however it benefits from protection by the Thames Barrier.
39. The site does not sit within any of the London View Management Framework (LVMF) protected views. The site does not fall within a conservation area and there are no listed buildings on or adjoining the site, although 97 and 99 Southwark Street further to the north of the site are Grade II listed. The closest conservation areas are Thrale Street and Union Street that lie to the east and south east respectively. The policies considered to be the most relevant are set out below.

National Planning Policy Framework (NPPF)

40. The revised National Planning Policy Framework ('NPPF') was published in February 2019 which sets out the national planning policy. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental. Paragraph 212 states that the policies in the Framework are material considerations which should be taken into account in dealing with applications.
41. Chapter 2 Achieving sustainable development
 Chapter 6 Building a strong, competitive economy
 Chapter 7 Ensuring the vitality of town centres
 Chapter 8 Promoting healthy and safe communities
 Chapter 9 Promoting sustainable transport
 Chapter 11 Making effective use of land
 Chapter 12 Achieving well-designed places
 Chapter 14 Meeting the challenge of climate change, flooding and coastal change
 Chapter 15 Conserving and enhancing the natural environment
 Chapter 16 Conserving and enhancing the historic environment

London Plan 2016

42. Policy 2.5 Sub-regions
- Policy 2.10 Central Activities Zone – Strategic priorities
 - Policy 2.11 Central Activities Zone – Strategic functions
 - Policy 2.13 Opportunity Areas and intensification areas
 - Policy 2.15 Town Centres
 - Policy 3.1 Ensuring equal life chances for all
 - Policy 4.1 Developing London’s economy
 - Policy 4.2 Offices
 - Policy 4.3 Mixed use development and offices
 - Policy 4.7 Retail and town centre development
 - Policy 4.12 Improving opportunities for all
 - Policy 5.1 Climate change mitigation
 - Policy 5.2 Minimising carbon dioxide emissions
 - Policy 5.3 Sustainable design and construction
 - Policy 5.5 Decentralised energy networks
 - Policy 5.6 Decentralised energy in development proposals
 - Policy 5.7 Renewable energy
 - Policy 5.9 Overheating and cooling
 - Policy 5.10 Urban greening
 - Policy 5.11 Green roofs and development site environs
 - Policy 5.12 Flood risk management
 - Policy 5.13 Sustainable drainage
 - Policy 5.15 Water use and supplies
 - Policy 5.16 Waste net self-sufficiency
 - Policy 5.17 Waste capacity
 - Policy 5.18 Construction, excavation and demolition waste
 - Policy 5.21 Contaminated land
 - Policy 6.1 Strategic approach (Transport)
 - Policy 6.2 Providing public transport capacity and safeguarding land for transport
 - Policy 6.3 Assessing effects of development on transport capacity
 - Policy 6.5 Funding Crossrail
 - Policy 6.6 Aviation
 - Policy 6.9 Cycling
 - Policy 6.10 Walking
 - Policy 6.11 Smoothing traffic flow and tackling congestion
 - Policy 6.12 Road network capacity
 - Policy 6.13 Parking

- Policy 7.1 Building London's neighbourhoods and communities
- Policy 7.2 An inclusive environment
- Policy 7.3 Secured by design
- Policy 7.4 Local character
- Policy 7.5 Public realm
- Policy 7.6 Architecture
- Policy 7.7 Location and design of tall and large buildings
- Policy 7.8 Heritage assets and archaeology
- Policy 7.10 World heritage sites
- Policy 7.11 London View Management Framework
- Policy 7.12 Implementing the London View Management Framework
- Policy 7.14 Improving air quality
- Policy 7.15 Reducing noise and enhancing soundscapes
- Policy 7.21 Trees and woodlands
- Policy 8.2 Planning obligations
- Policy 8.3 Community infrastructure levy

The Core Strategy 2011

43. The Core Strategy was adopted in 2011 providing the spatial planning strategy for the borough. The strategic policies in the Core Strategy are relevant alongside the saved Southwark Plan (2007) policies. The relevant policies of the Core Strategy 2011 are:

- Strategic Targets Policy 1 – Achieving growth
- Strategic Targets Policy 2 - Improving places
- Strategic Policy 1 - Sustainable development
- Strategic Policy 2 - Sustainable transport
- Strategic Policy 3 - Shopping, leisure and entertainment
- Strategic Policy 10 - Jobs and businesses
- Strategic Policy 12 - Design and conservation
- Strategic Policy 13 - High environmental standards

The Southwark Plan 2007 (Saved policies)

44. In 2013, the Secretary of State issued a saving direction in respect of certain policies in the Southwark Plan 2007. These saved policies continue to form part of the statutory development plan. Paragraph 213 of the NPPF states that existing policies should not be considered out of date simply because they were adopted or made prior to publication of the Framework. Due weight should be given to them, according to their degree of consistency with the Framework. The relevant policies of the Southwark Plan 2007 are:

Policy 1.1 Access to Employment Opportunities
 Policy 1.4 Employment Sites
 Policy 1.7 Development within Town and Local Centres
 Policy 2.5 Planning Obligations
 Policy 3.1 Environmental Effects
 Policy 3.2 Protection of Amenity
 Policy 3.3 Sustainability Assessment
 Policy 3.4 Energy Efficiency
 Policy 3.6 Air Quality
 Policy 3.7 Waste Reduction
 Policy 3.8 Waste Reduction
 Policy 3.9 Water
 Policy 3.11 Efficient Use of Land
 Policy 3.12 Quality in Design
 Policy 3.13 Urban Design
 Policy 3.14 Designing Out Crime
 Policy 3.18 Setting of Listed Buildings, Conservation Areas and World Heritage Sites
 Policy 3.19 Archaeology
 Policy 3.20 Tall Buildings
 Policy 3.22 Important Local Views
 Policy 3.28 Biodiversity
 Policy 3.29 Development within the Thames Policy Area
 Policy 3.31 Flood Defences
 Policy 5.1 Locating Developments
 Policy 5.2 Transport Impacts
 Policy 5.3 Walking and Cycling
 Policy 5.6 Car Parking
 Policy 5.7 Parking Standards for Disabled People and the Mobility Impaired
 Policy 5.8 Other Parking

Supplementary Planning Documents

45. Design and Access Statements SPD 2007
 Section 106 Planning Obligations and CIL SPD 2015 and 2017 addendum
 Sustainability Assessment 2007
 Sustainable Design and Construction SPD 2009
 Sustainable Transport Planning SPD 2009

Greater London Authority Supplementary Guidance

46. Central Activities Zone SPG 2016
 Character and Context (SPG, 2014)
 Energy Assessment Guidance (2018)
 London View Management Framework 2012
 Sustainable Design and Construction (Saved SPG, 2006)
 Town Centres (SPG, 2014)

Emerging policy

Draft New London Plan

47. The draft New London Plan was published on 30 November 2017 and the first and only stage of consultation closed on 2nd March 2018. Following an Examination in Public, the Mayor then issued the Intend to Publish London Plan, which was published in December 2019.
48. The Secretary of State responded to the Mayor in March 2020 where he expressed concerns about the Plan and has used his powers to direct changes to the London Plan. The London Plan cannot be adopted until these changes have been made.
49. The draft New London Plan is at an advanced stage. Policies contained in the Intend to Publish (ItP) London Plan published in December 2019 that are not subject to a direction by the Secretary of State carry significant weight. Paragraph 48 of the NPPF states that decision makers may give weight to relevant policies in emerging plans according to the stage of preparation of the emerging plan, the extent to which there are unresolved objections to the policy and the degree of consistency with the Framework.

GG1: Building strong and inclusive communities

GG2: Making the best use of land

GG3: Creating a healthy city

GG5: Growing a good economy

GG6: Increasing efficiency and resilience

SD1: Opportunity Areas

SD4: The Central Activities Zone

SD5: Offices, other strategic functions and residential development in the CAZ

SD6: Town centres and high streets

SD7: Town centres development principles and Development Plan Documents

D1: London's form, character and capacity for growth

D2: Infrastructure requirements for sustainable densities

D3: Optimising site capacity through the design-led approach

D4: Delivering good design

D5: Inclusive design

D8: Public realm

D14: Noise

S1: Developing London's social infrastructure

E1: Offices

E2: Providing suitable business space

E3: Affordable workspace

E9: Retail, markets and hot food takeaways
 E11: Skills and opportunities for all
 HC1: Heritage conservation and growth
 G1: Green infrastructure
 G5: Urban greening
 G6: Biodiversity and access to nature
 G7: Trees and woodlands
 SI1: Improving air quality
 SI2: Minimising greenhouse gas emissions
 SI7: Reducing waste and supporting the circular economy
 SI12: Flood risk management
 SI13: Sustainable drainage
 T1: Strategic approach to transport
 T2: Healthy streets
 T3: Transport capacity, connectivity and safeguarding
 T4: Assessing and mitigating transport impacts
 T5: Cycling
 T6: Car parking
 T7: Deliveries, servicing and construction
 T9: Funding transport infrastructure through planning
 DF1: Delivery of the Plan and Planning Obligations.

New Southwark Plan (NSP)

50. For the last 5 years the council has been preparing the New Southwark Plan (NSP) which will replace the saved policies of the 2007 Southwark Plan and the 2011 Core Strategy. The council concluded consultation on the Proposed Submission version (Regulation 19) on 27 February 2018. The New Southwark Plan Proposed Submission Version: Amended Policies January 2019 consultation closed in May 2019. These documents and the New Southwark Plan Submission Version (Proposed Modifications for Examination) were submitted to the Secretary of State in January 2020 for Local Plan Examination.
51. In April 2020 the Planning Inspectorate provided their initial comments to the New Southwark Plan Submission Version. It was recommended that a further round of consultation takes place in order to support the soundness of the Plan. Consultation on the Proposed Changes to the Submitted New Southwark Plan and additional evidence base documents started in August until 2 November 2020.
52. The Examination in Public (EiP) is expected to take place in early 2021 and the amendments within the Proposed Changes to the Submitted New Southwark Plan will be considered along with the consultation responses received at each stage of public consultation. It is anticipated that the plan will be adopted later in 2021 following the EiP.
53. As the NSP is not yet adopted policy, it can only be attributed limited weight. Nevertheless paragraph 48 of the NPPF states that decision makers may give weight to relevant policies in emerging plans according to the stage of

preparation of the emerging plan, the extent to which there are unresolved objections to the policy and the degree of consistency with the Framework.

54. The evidence base to support the NSP is substantially complete. The NPPF states that the more advanced the preparation of the plan, the more weight can be given. The NSP has been subject to six rounds of consultation and comprehensive consultation reports have been prepared at each stage in response to representations. The council received 332 representations to the Proposed Submission Version (2018) and as a result some policies were amended and further consultation took place in 2019. The council received 131 representations to the Amended Policies consultation. A full consultation report incorporating comments from both stages of the Regulation 19 consultation was prepared alongside Submission. The council is meeting various community planning interest groups, as well as preparing Statements of Common Ground with individuals and organisations who will be taking an active part in the EiP.
55. In response to the various rounds of consultation on the NSP, a variety of comments and objections were received from individuals, groups and businesses. Where no objections were received a draft policy can be given more weight than for policies where objections were received and have not been resolved, particularly where there is little change from current adopted policies. For example, the following NSP policies can be given moderate weight as no objections were received or they are very similar to policies in the development plan.
56. P12 Design of places
 P13 Design quality
 P15 Designing out crime
 P17 Efficient use of land
 P18 Listed buildings and structures
 P19 Conservation areas
 P22 Archaeology
 P32 Business relocation
 P48 Public transport
 P49 Highway impacts
 P50 Walking
 P52 Cycling
 P53 Car parking (no substantial objections were received, comments related to minimising residential car parking)
 P55 Protection of amenity
 P58 Green infrastructure
 P59 Biodiversity
 P60 Trees
 P61 Reducing waste
 P63 Contaminated land and hazardous substances
 P64 Improving air quality
 P67 Reducing flood risk
 P68 Sustainability standards.
57. Where draft policies are different from the adopted policy (or are completely new policies) and objections were received, the specifics of those objections

and the differences from the adopted policy need to be considered for each planning application proposal. For example:

58. P27 Access to employment and training – objection was received relating to the financial burden.
 P29 Office and business development – objections related to the two year marketing justification and differentiation of B Class uses.
 P30 Affordable workspace – objections relating to strengthening the policy and including viability testing.
 P34 Town and local centres – objections relate to a lower threshold and strengthening the policy.
 P40 Hotels and other visitor accommodation – objections received in terms of the new ancillary features requirement.
 P46 Community uses – objections to strengthening this policy.
 P65 Reducing noise pollution and enhancing soundscapes – the agent of change principle in the NPPF must also be considered.
59. Where objections were received to a draft policy and these have not been resolved through revisions, that policy can have only limited weight. In these instances, the degree of change from adopted policy on these topics should also be considered. Examples of these policies include:
60. P54 Parking standards for disabled people and mobility impaired people.
 P69 Energy – objections that the December 2017 version P62 being too onerous for the carbon reductions
61. The NSP responds positively to the NPPF, by incorporating area visions, development management policies and 82 site allocations which plan for the long term delivery of housing. The NSP responds to rapid change which is occurring in Southwark and London as a whole and responds positively to the changing context of the emerging New London Plan.
62. Site allocation NSP01 covers the application site as well as the Network Rail site to the south. This designation seeks redevelopment of the site to provide employment use, new open space, new retail opportunities and enhancements to open up and enliven the Low Line. This will be discussed in more detail below.

ASSESSMENT

Principle of the proposed development in terms of land use

Introduction

63. The redevelopment of the site would be office led, creating a significant uplift in Class B1 office space in addition to the introduction of retail opportunities at street level and within a new public realm which would create active frontages where there is currently very little animation, activity or interest at street level.

Policy background

64. The National Planning Policy Framework (NPPF) was updated in 2019. At the heart of the NPPF is a presumption in favour of sustainable development. The framework sets out a number of key principles, including a focus on driving and supporting sustainable economic development to deliver homes. Relevant paragraphs of the NPPF are considered in detail throughout this report

Bankside, Borough and London Bridge Opportunity Area

65. The London Plan designates Bankside, Borough and London Bridge as one of four Opportunity Areas in the London South Central area.
66. The London Plan notes that this area has considerable potential for intensification and scope to develop the strengths of the area for strategic office provision. This is further reflected in Policy SD2 – Opportunity Areas of the ‘Intend to publish’ London Plan which sets a target of 5,500 new jobs.
67. Strategic Targets Policy 2 of the Core Strategy underpins the London Plan and states that Southwark’s vision for Bankside, Borough and London Bridge is to continue to provide high quality office accommodation, retail and around 25,000 jobs by 2026. Additionally, Strategic Policy 10 states that between 400,000sqm and 500,000sqm of additional business floorspace will be provided within the Opportunity Area to help meet Central London’s need for office space.

Central Activities Zone and Bankside and Borough District Town Centre

68. The site is located within the CAZ which covers a number of central boroughs and is London’s geographic, economic, and administrative core. Strategic Targets Policy 2 – Improving Places of the Core Strategy states that development in the CAZ will support the continued success of London as a world-class city as well as protecting and meeting the more local needs of the residential neighbourhoods. It also states that within the CAZ there will be new homes, office space, shopping and cultural facilities, as well as improved streets and community facilities.
69. In addition, part of the site is within the Bankside and Borough District Town Centre. Saved policy 1.7 of the Southwark Plan states that within the centre, developments will be permitted providing a range of uses, including retail and services, leisure, entertainment and community, civic, cultural and tourism, residential and employment uses.

Bankside, Borough and London Bridge Strategic Cultural Area

70. The application site lies within the Bankside, Borough and London Bridge Strategic Cultural Area. Strategic Cultural Areas have been designated as such in order to protect and enhance the provision of arts, culture and tourism uses. Development of the tourism sector has significant local economic benefits through employment, regeneration and visitor spending in other local businesses. However, these developments must focus on effective visitor management and accessibility for all. Policy 1.11 of the Southwark Plan states that permission will be granted for new facilities

provided they do not unacceptably compromise the character of an area. The policy states that management plans will be required for these uses in order to mitigate and manage impacts on local amenity.

Draft New Southwark Plan Site Allocation NSP01

71. The New Southwark Plan is in its Proposed Modifications for Examination version and was submitted to the Secretary of State in January 2020 for Local Plan Examination. The examination in public and formal adoption is set to take place in 2021 and as such the policies currently have limited weight. The site is listed as an allocated site under the New Southwark Plan. The site allocation (NSP01) covers the application site as well as the Network Rail site to the south which is inclusive of the railway viaduct and extending to Great Suffolk Street to the west. The site allocation sets out that the development must:
- Provide at least the amount of employment floorspace (B class) currently on the site or provide at least 50% of the development as employment floorspace, whichever is greater; and
 - Provide ground floor active frontages with ground floor town centre uses (A1, A2, A3, A4, D1, D2) enhancing the Low Line walking route adjacent to the railway viaduct; and
 - Provide new open space of at least 15% of the site area.
72. The site allocation also sets out that the development 'should' provide housing as opposed to it being a mandatory requirement under 'must'.

Conclusion on policy designations

73. The principle of a large scale development containing a mix of uses including Class B1 office space; Class A1/A3/A4 retail; and Class D2 would support the role and functioning of the Central Activities Zone and the Bankside and Borough District Town Centre as well as being consistent with the policies for the Opportunity Area and the Strategic Cultural Area. The acceptability of each use will be considered below.

Offices

74. The site falls within the CAZ, which contains London's geographical, economic and administrative core. The London Plan does not protect office floorspace in the CAZ; it simply identifies office use as an appropriate land use in the CAZ and notes that there is capacity for 25,000 jobs in the Opportunity Area. This is further supported by the Mayoral Supplementary Planning Guidance – Central Activities Zone (2016).
75. Core Strategy Strategic Policy 10 Jobs and Businesses states that the council will increase the number of jobs in Southwark and create an environment in which businesses can thrive. The policy goes on to state that existing business floorspace would be protected and the provision of around 400,000sqm-500,000sqm of additional business floorspace would be supported over the plan period in the Bankside, Borough and London Bridge Opportunity area to help meet central London's need for office space.

76. Saved policy 1.4 of the Southwark plan states that development will be permitted subject to there being no net loss of Class B floorspace (subject to a number of exceptions)
77. The site currently provides 18,715sqm of employment floorspace. The proposed development would provide a total of 50,155sqm of Class B1 floorspace resulting in an uplift of 31,440sqm which meets the policy objectives of protecting employment floorspace and is welcomed as a significant benefit of the scheme. The provision of 50,155sqm of Class B1 floorspace would have the potential to provide up to 3,380 jobs which would be an uplift of approximately 2,980 jobs and satisfies the aims of the Core Strategy and London Plan in creating new jobs and high quality office space within the Central Activities Zone and the Opportunity Area.

Retail

78. The development would include flexible retail units (A1/A3/A4) at ground and lower ground level of both buildings. Across the proposed commercial units a total of 1,609sqm of flexible retail floorspace is proposed and can be broken down as follows:

| Proposed Use | Proposed Floorspace (sqm) GIA |
|-------------------------|-------------------------------|
| Class A1 Retail | 138 |
| Flexible Class A1/A3 | 214 |
| Flexible Class A3/A4 | 615 |
| Flexible Class A3/A4/D2 | 642 |
| Total | 1,609 |

79. The provision of new town centre uses such as retail is supported by saved Southwark Plan Policy 1.7 since the site lies within the Bankside and Borough District Town Centre. The retail units would activate the ground floor of the development, particularly within the new central public realm and along Lavington Street. The retail units would serve the existing population as well as visitors to the area and new workers and would contribute to the vitality of the Bankside and Borough District Town Centre. The current linked buildings have a very inactive frontage whereas the proposal would create a much more attractive, spacious, welcoming and open street environment with retail opening out onto the newly formed public space. This is consistent with site allocation NSP01.
80. In order to protect the amenities of the area, it is suggested that a cap be placed on the amount of floorspace that could be used for Class A4 (drinking establishments). A condition would be attached to this effect.

D Class Floorspace

81. The development has made provision for a small area of Class D2 floorspace within one of the flexible retail units. The flexible Class D2 floorspace would amount to 642sqm and would be located at ground and basement level. The developer has not finalised what this use would be as no operator has been found at this stage, due to the development being at

planning stage only, therefore a flexible use of Class D2 has been applied for. Under Class D2, the space could be used as a cinema, bingo hall, music venue or gym in addition to being used as Class A3/A4 retail under the overall flexible use being sought. Given the small size of the D2 space and its location to the rear of the site at ground and basement level it is considered that its inclusion would not significantly alter the local character of the area and as such would comply with saved policy 1.11 as well as meeting the objectives for development within the Strategic Cultural Area.

Conclusions on land use

82. The proposal involves the provision of high quality office floorspace alongside a range of acceptable town centre retail uses. The provision of new offices is fully supported and the provision of modern, high quality offices is considered to be a benefit of the scheme and would facilitate a growth of employment within the Central Activities Zone and Opportunity Area. The proposed development includes a mix of uses that are appropriate for the site's location within the CAZ, Opportunity Area, Strategic Cultural Area and District town centre.

Affordable workspace

83. Intend to Publish (ItP) London Plan Policy E2 - Providing suitable business space, seeks the provision of low cost Class B1 business space to meet the demand of micro to medium sized business as well as start-ups and enterprises looking to expand. The policy is clear that proposals for new B1 spaces over 2500sqm in size (or a locally determined lower threshold) should consider the provision of a proportion of workspace that would be suitable for these target businesses.
84. ItP London Plan Policy E3 relates specifically to affordable workspace and states that "In defined circumstances, planning obligations may be used to secure affordable workspace at rents maintained below the market rate for that space for a specific social, cultural or economic development purposes". The policy identifies the circumstances in which it would be appropriate to secure affordable space. Part B of the policy specifically identifies the CAZ as an important location for securing low cost space for micro, small and medium sized enterprises.
85. Emerging Policy P30 of the New Southwark Plan deals with affordable workspace. Criterion 2 of the policy requires Major 'B Use Class' development proposals to deliver at least 10% of the new floorspace as affordable workspace on site at a discounted market rent for a period of at least 30 years. The policy recognises that there are many different forms that such space could take depending on the site location, characteristics and existing/proposed uses on site. Only where on-site provision would be impracticable are developers permitted to make an in lieu payment
86. Taking into account the requirements of emerging policy P30, the proposed development would need to provide at least 10% of the uplift in commercial floorspace as affordable workspace. Since the uplift in floorspace is 33,048sqm this would equate to 3,305sqm affordable workspace. The

applicant proposes to meet this requirement in its entirety within the East Building, the West Building or a combination of both. As such the quantum of affordable workspace being provided is compliant with the emerging London Plan and New Southwark Plan policies.

87. In order to ensure the space is attractive to potential occupiers, the s106 agreement will require the affordable workspace to be fitted out to a minimum specification and for the common facilities (such as the bike store, showers and lifts) to remain accessible to staff throughout the lifetime of the affordable workspace unit.
88. In addition, the Section 106 Agreement will include a dedicated 'affordable workspace' schedule. This will ensure, among other things, that:
- the workspace is provided for a 30-year period at a discount of 25% on the market rent level;
 - no more than 50% of the market rate floorspace can be occupied until the affordable workspace has been fitted-out ready for occupation;
 - detailed plans showing final location of affordable workspace;
 - a management plan is in place to secure the appointment of a Workspace Provider and a methodology for that Provider to support the occupiers;
 - appropriate marketing of the affordable workspace will be conducted;
 - the rates and service charges payable by the tenant will be capped, and;
 - a rent-free period is offered to incentivise uptake.
89. As previously mentioned, the affordable workspace would be provided for 30 years, over the course of which the rental levels for each occupier would 'staircase' as set out below:
- 0-6 months at peppercorn rent;
 - 6-13 months at 40% of the Local Open Market Rent;
 - 14-22 months at 60% of the Local Open Market Rent; and
 - from month 23 onwards at 75% of the Local Open Market Rent.

Environmental impact assessment

90. The applicant applied for a Screening Opinion under application reference 19/AP/5852.
91. Based on the assessment undertaken as part of the Screening Opinion, no significant likely effects were identified and accordingly the conclusion reached was that the proposed development would not be likely to have any significant effects upon the environment by virtue of factors such as its nature, size or location. The Screening Opinion concluded that the matters to be considered can be adequately assessed through the submission of technical reports submitted with the planning application. The proposed development was therefore not considered to constitute EIA development.
92. The applicant has submitted various technical reports in order to allow a full assessment of environmental matters and these are addressed individually

in this report.

Design

93. The NPPF at Paragraph 56 stresses the importance of good design, considering it to be a key aspect of sustainable development. Chapter 7 of the London Plan deals with design related matters. In particular, Policy 7.1 sets out the design principles required for new development and Policy 7.6 requires architecture to make a positive contribution to the public realm, streetscape and cityscape. Policy 7.8 asserts that development affecting heritage assets and their settings should conserve their significance by being sympathetic in their form, scale, materials and architectural detail.
94. The relevant Southwark design and conservation policies are Strategic Policy 12 of the Core Strategy and Saved Policies 3.12, 3.13, 3.18 and 3.20 of the Southwark Plan. These policies require the highest possible standards of design for buildings and public spaces. The principles of good urban design must be taken into account in all developments including height, scale and massing, consideration of local context including historic environment, its character, and townscape strategic and local views

Site context

95. The application site contains two substantial linked buildings of mainly three large storeys above a semi-basement level that addresses Lavington Street, with an additional setback fourth storey and a further fifth that is L-shaped in planform and runs centrally along the length of the block and southwards, originally forming part of the building's west flank elevation. The linked building has been extended on several occasions, with smaller additions to its western flank, including an oddly-shaped brick and glass stair core

Image – Surrounding tall buildings



96. The site is located mid-point along Lavington Street, which is a short street that runs diagonally off from Southwark Street and connects through to Great Suffolk Street. The main building sits at the back edge of the pavement onto Lavington Street and occupies almost the full depth of the site, separated at the rear from the adjacent railway viaducts and former high level sidings (former Grand Vitesse depot) by a narrow service road that runs parallel to the viaduct and is gated onto Ewer Street. The building's western extensions sit back from Lavington Street, providing an off-street surface servicing area and car park.
97. The building sits among other substantial buildings and plots located off Southwark Street, reflecting the local area's industrial past and extensive redevelopment before and after the Second World War. Many have recently been adapted and extended or replaced with larger buildings for new commercial uses, making for a varied townscape. The area contrasts with the more traditional, finer grained built form that characterises other sections of Southwark Street and the streets beyond the railway viaduct, particularly to the east. The building is not listed and not within a conservation area. The closest conservation areas are Thrale Street and Union Street which lie to the east and south east respectively. The nearest listed buildings are located at 89 and 97 Southwark Street (both Grade II).

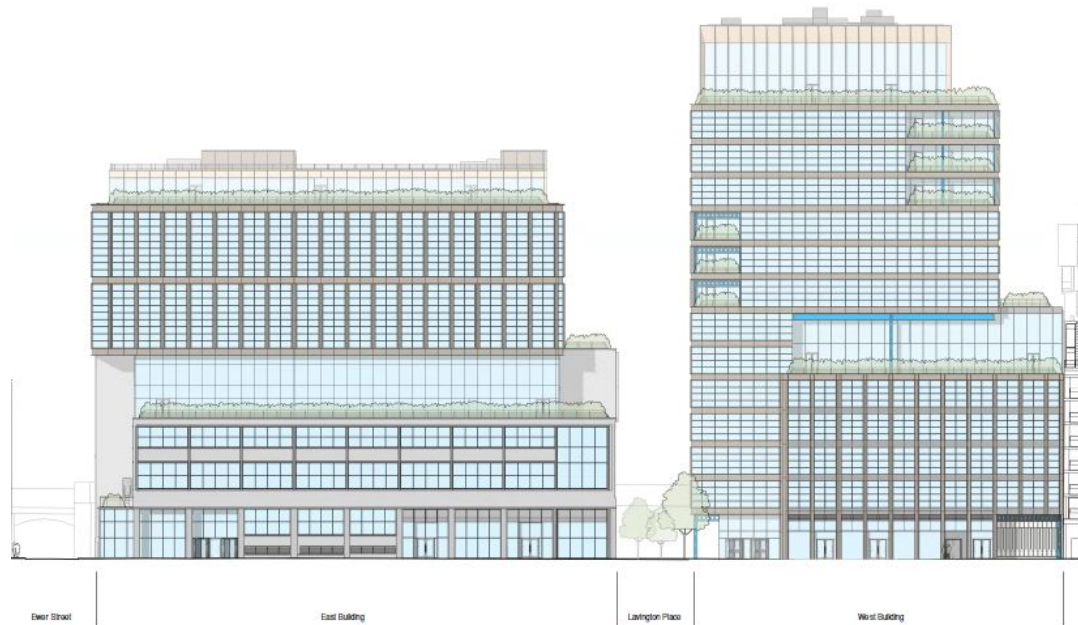
Proposal

98. The application is for the part extension and part redevelopment of the building for high quality offices. The scheme is made up of two buildings arranged either side of a new central space. For the East Building, the proposal is to retain a significant part of the existing structure and to extend it to ten storeys, using a hybrid lightweight steel and Cross Laminated Timber (CLT) construction with unitised curtain wall glazing. The West Building comprises a new 15 storey block and uses the same hybrid construction and curtain walling, but throughout, taking the finish down to grade. The architecture has an industrial character that reflects the former printworks. It also has a strong sustainability focus, reusing a significant proportion of the current building fabric and its embodied energy. The central space is wedge-shaped, widening towards the viaduct to create a south-facing public open space. This new open space connects with the new route alongside the railway arches connecting to Ewer Street which is re-landscaped as a shared public space. The intention is to open up the public realm to address the railway arches, as part of the Low Line project.

Site layout

99. The design approach in effect retains the extensive footprint and back-of-pavement condition of the existing main building and adds a further large footprint building on the same building lines to the west. However, the scheme makes a conscious effort to relieve the coarse-grained character of the built form by extensively opening up the ground floor of both buildings and by introducing a central public space. The development provides a series of office and retail frontages around much of the buildings' perimeters. Importantly, the public realm is activated and enlivened on all frontages rather than focussed on the central public space, which is supported.
100. The East Building's main entrance is located towards the corner of Lavington/ Ewer Street, where it is directly approached from the junction with Southwark Street. The entrance is legible and recessed back from the pavement to provide a decent threshold space, whilst the reception foyer is generous and welcoming, enlivening the street scene. Some 40% of the building's street elevation comprises retail, which then wraps around to form almost the entire frontage onto the new public space, with multiple entrances offering good activation and flexibility of use. The building's southern elevation is animated by large ground floor and semi-basement windows onto the offices and workshops at these levels, with end doorways offering access, though these are likely to be used more informally. A further building entrance is located on the corner of Ewer Street and the Low Line route. This brings a more engaging appearance to this corner of the building and offers a greater flexibility of use, which is welcome.

Image – Lavington Street elevation



101. The West Building presents mainly retail onto Lavington Street with two shop entrances shown. The building's main entrance is recessed back from the street to provide a large threshold space, with its large reception foyer partly animating the new public space. Further retail completes the building's frontage onto the central space, as well as wrapping onto the rear service road with shop entrances on both elevations.
102. The central public space is generous in size and is well contained by the proposed buildings. The space opens up rearwards towards the railway viaduct; the latter's Victorian architecture providing an attractive backdrop and the potential for further activation with the re-purposing of the archways in the future. The public space is designed to be south-facing, providing good daylight penetration into the space. The public space connects eastwards with the proposed Low Line route connecting back to Ewer Street and improving local permeability. The new lane is shown ungated, although its free flow to the general public should be ensured by controls in the S.106. The use of the route as part of the Low Line is currently curtailed since the onward route is presently blocked on both sides of the scheme. Nonetheless, the proposed contribution to an extended public realm and improved local permeability are welcome.

Image – Lavington Street view



103. Importantly, servicing has been rationalised in the proposed layout, with both buildings serviced by a single, dedicated basement loading facility, which is positioned to the west of the site within the new building, with goods and refuse moved between buildings at basement level. This minimises the deadening effect of service bays and refuse storage on the ground floor elevations, and helps ensure the public realm remains uncluttered, which is welcome. Overall, although the buildings each have a large footprint, the ground floor condition should offer a varied and engaging public realm, with good access and good informal surveillance.

Scale, height and massing

104. The increase in height of the East Building would bring the building to 10 commercial storeys above a semi-basement level and an overall height of c.46m (including plant). The new West Building would be 15 commercial storeys above grade, with an overall height of c.62m (including plant). Both buildings would meet the definition of tall buildings by exceeding 30m in height.
105. Looking at the local context within Lavington Street, by comparison both proposed buildings would rise above their immediate neighbours, with the increase in height of the West Building being particularly significant. Whilst there is some variety of storey heights, the street is characterised as generally mid-rise of between 22m (Europoint House) and 29m (Premiere Inn). However, the wider context has changed with the more recent developments of the 16-storey Isis House (53m) at 67-69 Southwark Street on the junction with Lavington Street, and the 14-storey student housing block (41m) immediately to the west of the site, at the rear of 15 Great Suffolk Street. Generally, the East Building is not dissimilar in height to these taller buildings, albeit the West Building rises prominently above.

Image - Lavington Street long views



106. A material consideration is that the Council had been minded to grant approval for a mixed-use scheme for the application site that included a 10 storey office building (c.44m) in much the same location as the East Block and a series of residential towers that stepped in height to 21 storeys (c.70m). The application was given a resolution to grant permission by the Planning Committee but was subsequently withdrawn by the new site owners prior to completing the Stage II Mayoral referral process.
107. The currently proposed height, combined with the large building footprints, makes for two substantial buildings within a densely built-up context. The main consideration is how the height and massing are articulated and the overall scale perceived within the local context. Both buildings are extensively articulated to break up their volumes and to help ground them within their immediate context. In the instance of the East Building, the former industrial building is effectively used as the base of the new office building; with its primary 3.5-storey (20m) volume retained onto Lavington Street and sitting moderately below the 5-storey shoulder heights of its neighbours to the east (20 and 22 Lavington Street) and Europoint House opposite.
108. Above this base, the new extension is conceived in three parts: a 2-storey 'margin' which is still within the massing of the existing building; the 4-storey middle; and the single storey rooftop pavilion. The margin is formed by setting in the massing by 6m behind the main façades, mimicking to an extent the massing of the upper floors of the current building. The margin would not be generally seen from street level. Above this, the massing then

cantilevers out to read as an evident addition to the original building. Its four storey volume establishes a new main building height of ten storeys (40m).

109. The extensive articulation of the East Building, coupled with the elevational treatment, work well to break down the apparent scale of the new building and to confirm a comfortable scale at its base onto the street. Moreover, it brings clarity of form and a dynamic quality to the new addition above, which is engaging. These features are evident in the townscape views along Lavington Street towards the East Building (View 16). The same qualities are brought to the 'rear' elevation onto the service road, where the new upper volume would be seen to sit above the adjacent viaduct. They are also brought round onto the flank elevations onto Ewer Street and the new space, albeit the original five storey central spine briefly interrupts the margins on both elevations, but which only adds to the articulation and visual interest. Overall, the scale of the East Building is well handled.
110. Whilst the West Building is new, it uses much the same massing devices as its partner building. It presents a similar lower rise element onto Lavington Street, establishing a familiar shoulder height onto the street, although in this instance achieving five storeys within a 22m height and mediating well with the neighbouring seven storey shoulder height of the Premier Inn Building (15 Great Suffolk Street). The main building volume is recessed back behind the street volume, and is again separated in part by a two storey 'margin', which sets in approximately six metres from the façade below, with the main volume cantilevering above. The main volume rises above this for an additional six floors, establishing a primary building height of 13 storeys (53m). Whilst two further set back storeys (62m) are provided, they are recessed back some nine metres from the north elevation and would not be seen from the street. In addition to the main articulation, two groups of stacked corner balconies cut into the façade, eroding the main mass.
111. In terms of visual impact, whilst the main volume would be evident, it would be seen to sit back and discretely from the street volume, with the latter maintaining the contextual shoulder line and a coherent scale onto Lavington Street. The cantilever with a slight twist in the alignment of the upper volume bring the same dynamic quality to the designs and an obvious dialogue with its partner building. However, it also allows the main building to be read within a separate context to the street, one that is more related to the new central space, as illustrated in the townscape views along Lavington Street. Its presence in the background, however, would emphasise the built-up character of the local townscape.
112. Unlike the East Building, the same articulation is not carried round onto the remaining side, with each responding to their own contexts. In terms of the public space, the massing is more straightforward, with the built form extruded upwards to the primary building height of 13 storeys. The main articulation comes from lifting part of the tall ground floor onto columns to provide an arcade onto the public space, emphasizing a sense of base; and only modestly setting back the final uppermost floors, which can be read as a

top, bringing a hierarchy to the building. A further group of stacked, cut-out balconies bring some movement to the massing. The scale of the building is sufficiently relieved by the generous size of the public space and its open aspect towards the south.

113. The rear (south) façade is simpler, being a relatively flat façade across its height and much of its breadth, with the uppermost floors brought onto the same façade line. Elements of articulation are provided by a projected bay that runs between second and eighth storey and the stacked, cut-out balconies above on the southwest corner. Its scale and simplicity works with the notion of being onto the rear lane enclosed by the viaduct, adding a distinctly urban quality to the street scene. Lastly, the west elevation is notable for the eroded profile of the upper floors, generated by the cut-out balconies, and for the off-set position of the top floors. This elevation is experienced mostly in long distance views, where the top floors almost appears to project over the main building's edge. In these views the building is seen in isolation and distant from any townscape context.
114. Overall, the new building is substantial, but sits sufficiently well within Lavington Street, which is characterised by large floorplate buildings. Its lower massing onto Lavington Street is particularly welcome, infilling the current off-street parking area and completing the street frontage. The additional height and massing are well handled. The proposed buildings must be regarded in the wider locality of Bankside, with its occasional tall slender buildings (Neo-Bankside), but also its occasional substantial office building (Blue Fin Building). The proposed West building would read very much part of this scale and character of Bankside.

Architecture

115. Looking at the East Building, the design approach is to re-purpose the existing foundations, concrete frame and heavy floorslabs of the main building, and to remodel the existing brickwork elevations at ground, first and second floor levels to provide a more perforate ground floor level, whilst retaining the robust character of the host architecture. Importantly, this includes reinstating the south elevation in brickwork with traditional bay openings, replacing the crude curtain walling of the previous adaptation scheme. The building was previously adapted for offices. The brickwork brings a simple, but handsome solidity to the base of the building, and a texture and patina of age that helps embed the building within its local context. The replacement brickwork is recycled from the demolition of the existing extensions, albeit a condition is recommended to confirm the brickwork and any substitution that may be required.
116. The base is then extended upwards seven additional floors, using a hybrid system of cross laminate timber (CLT) and steel for the main body of the building. The new volume above has a contrasting architecture, with a distinctive change in material finishes and detailed designs; the modern, unitised curtain walling system with aluminium framing bringing a lightness to

the new volume. Its detailed design is nonetheless complementary, with the aluminium framing profiled and coloured to give a modern, industrial aesthetic, similar to cast iron or blackened steel. Cast or translucent glass would be used for solid or opaque panels. The framing has a vertical emphasis, which contrasts with the horizontality of the building and the brickwork below, which is an appealing detail.

117. The distinction between the heavyweight base and lightweight body is emphasised by recessing the third and fourth floors in a glazed 'girdle' and cantilevering out the main volume above. This articulation gives the two volumes greater individual expression, as well as brings an engaging, dynamic quality to the composition. Finally, the top floor addition is recessed and not seen from street level, but is nonetheless thoughtfully designed; its lightweight framing complementary in appearance and helping to conceal the rooftop plant. Overall, the elevational design of the East Building is well considered and appealing.
118. The 15 storey West Building is more straightforward in its design, with its use of the same hybrid structural framework and unitised, aluminium-framed, curtain-walling system throughout. The facades are expressed as a rational, modular grid. The detailed architecture comes from raising the front of the building onto exposed structural columns that form a colonnade onto the new space; switching the vertical and horizontal design emphasis of the framing across the different facades; and from introducing groups of stacked balconies and terraces enlivened with greenery that bring movement and occasional softness to the modern, industrial-aesthetic. The double-storey rooftop pavilion is notable for being offset both towards the front façade and particularly the south, where it appears to hover above the roofline, adding a sense of drama. Overall, the architecture is strong and sufficiently engaging. The less corporate and more quasi-industrial character is particularly welcome and complements its partner building, bringing a good sense of place to the new central public space. The success of the architecture, however, is dependent on the detailing and material finishes, which should be conditioned to ensure their high quality. This would include the profiles and finishes of the columns and metalwork frames.
119. Regarding the functional quality of the new offices, the specification is high, with good-sized office floorplates, sensibly placed cores and the use of CLT with steel that offers the flexibility for double-height spaces or additional stairs. The opportunity for several entrances at ground floor level within the East Building brings further flexibility to the designs.

Image – New public realm



120. The internal ceiling heights are excellent, with 2.8m headroom to trusses and 3.7m to soffit finish for the East Building and 2.75m to trusses and 3.45m to soffit finish for the West Building on the main floors, and double-height spaces at ground. The upper floor offices have mixed-mode ventilation, with vent panels discreetly incorporated into the framing system. The floor to ceiling glazing provides good levels of daylight penetration, with the frame depths adjusted in relation to each façade's orientation to provide an element of solar shading. The East Building in particular features a large central atrium that runs from the third floor upwards, making good use of an existing rooflight within the host building. The internal finishes are mostly in timber, bringing warmth and texture to the designs. The layout features balconies, terraces and planted roof gardens for use by the tenants.
121. Overall, the architecture is well considered and sustainable with its repurposing of the existing building's main structure and use of CLT. The designs have an engaging quality that work well compositionally and should make for contemporary, high quality offices. The buildings are substantial in scale, but reflect the coarse-grained character of the area and remain comfortably scaled for the immediate street context. The buildings are perforate, providing good activation and animation of the street scene, including the new central public space. The proposals are of a sufficiently high standard of architecture and urban design, and would be a notable improvement in the local townscape within Lavington and Ewer Street.

Tall buildings

122. The two proposed buildings reach a maximum of 46m and 62m above grade, when measured to the top of plant enclosures, which meet the definition of a tall building. The buildings are located within CAZ and Opportunity Area, where intensification of development is generally appropriate. The wider area contains a number of tall buildings, including Isis House, Neo-Bankside the Blue Fin Building. Other tall buildings are under construction in the wider area, including at the former Ludgate House site. That said, the tall buildings are nonetheless expected to comply with Saved Southwark Plan policy 3.20. Looking at the requirements in turn:

123. **Positive contribution to the landscape:** The development provides a number of significant extensions to the public realm, most notably the new public space and route through the site. The new wedge-shaped space is around 800sqm and would sit between the proposed buildings, presenting onto Lavington Street at its apex end. The space comprises hard landscaping and tree planting to soften the landscape. The public space opens southwards towards the railway viaduct, where it connects with the current service road and which would become a publicly accessible Low Line route through to Ewer Street, improving local permeability. The streetscape would be upgraded in a single surface treatment and include soft landscaping. The scheme also includes pavement extensions outside the main office entrances, setting back the reception to provide new threshold areas, and the possible widening and/or levelling of the footway at the entrance to the new public space to improve access. Subject to securing high quality landscaping and public access, the landscape contribution is commensurate with the scale of development.
124. **Point of landmark significance:** The site is located within the CAZ where tall buildings may be considered appropriate. Although the site itself does not mark a point of particular significance, it is part of a wider cluster of taller buildings moving towards the bridgehead of Blackfriars Bridge. The buildings would not stand as isolated features marking a specific point, but rather as part of the experience of a range of larger buildings, and emphasising the low line route and contribution to public space. The space would add to the series of public spaces in and around the Bankside area that are often associated with similar large-scale developments.
125. **Highest architectural standard:** The scheme is in part an extensive re-adaptation of an existing building that cleverly utilises the building's underlying structure to create a sustainable, high-quality office development. The scheme 'reinstates' the host building as an attractive, contextual base for a new structure above. The additional volume both complements and contrasts with the base, providing an architecture that is engaging and coherent. The designs are carried through to the second, taller building, which shares the same industrial character and finish. The architecture is convincing in its sustainable design approach, its aesthetic quality and high standard of office accommodation. Centred around an attractive public space, the new buildings should provide a distinctive sense of place.
126. **Relates well to its surroundings:** The tall buildings relate sufficiently well to their immediate surroundings in terms of their strongly articulated and engaging designs. Both buildings bring a low-rise volume onto Lavington Street, maintaining an evident shoulder line that relates well to neighbouring buildings and brings a coherency to the street. The more overt East Building on the junction with Ewer Street retains and remodels the existing building on site, maintaining its familiarity of form and materials, embedding the development within its context. The upper volume of the East Building and the treatment of the West Building have an industrial aesthetic that intimates the industrial character of the area. The ground floor plan of the new west building and the altered plan of the east building will ensure that the frontages are activated, bringing activity and animation to the street and

public routes.

127. **Positive contribution to the London skyline:** The proposed buildings will add to London's skyline, but as part of the general densification of the Central Activities Zone within Southwark. The buildings are tall enough to sit above the immediate setting, but not so tall as to dominate the wider context or define its skyline's profile. They will appear above local rooflines and read as further examples of substantial office buildings that increasingly typify the London Bridge, Bankside and Blackfriars areas. The East Building's silhouette is rational and ordered, with a distinct main roofline and a modest, setback pavilion that obscures the rooftop plant. The West Building presents a more varied silhouette, with corner balconies eroding its edges and the double-height rooftop pavilion distinctly offset. Nonetheless, the impact on the skyline is generally low-key and relatively calm; the drama being more mid-height with the dynamic cantilevers. Overall, the development's designs sufficiently meet the policy criteria for a new tall building.

Image – View from Great Suffolk Street



Townscape

128. The submission includes a townscape visual impact analysis (TVIA) that provides 21 townscape images of the development, including 19 verified images, when viewed from locations in and around the Bankside area. In the majority of the CGI views the proposed development would not be highly visible. In large part, this is because of the relative narrowness of the streets, the nearby railway viaduct and other large buildings positioned relatively close by that tend to mask the development from wider view.

129. The taller elements of the development would be noticeable in views from Great Guildford Street (view 2), Borough High Street along Union Street (view 4) and occasionally within Union Street (views 5 and 6), Mint Street Park (view 7) and Sawyer Street (view 8). The upper floors are more obvious in the views from Loman Street/ Risborough Street (view 9) and Dolben Street (views 11 and 2), but generally the development is not imposing; its rational form and appearance sitting calmly as a large building within a built-up context. Two views, however, are more challenging. In the view along Scoresby Street (view 10) the building is seen in relative isolation and becomes a focal point within the townscape. Its form contrasts with the distant Shard, but importantly remains lower than the Shard in perspective, which retains its prominence as the outstanding landmark feature.
130. The other is within Southwark Street, where approaching from the west or Sumner Street (view 13) the development will be seen above the more moderate scaled Victorian townscape. However, the views are seen more in passing and the visual disruption is short-lived, and experienced as part of the more varied townscape experience within Bankside. Overall, the impact on the wider townscape is for the most part neutral.

Heritage implications

131. Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires local planning authorities to consider the impacts of proposals upon a conservation area and its setting and to pay “special regard to the desirability of preserving or enhancing the character or appearance of that area”. Section 66 of the Act also requires the Authority to consider the impacts of a development on a listed building or its setting and to have “special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”. The NPPF provides guidance on how these tests are applied, referring in paras 193-196 to the need to give great weight to the conservation of the heritage asset (and the more important the asset, the greater the weight); evaluate the extent of harm or loss of its significance; and, where necessary, weigh this against the public benefits of the scheme. Para 197 goes on to advise taking into account the effect of a scheme on the significance of a non-designated heritage asset.
132. Significantly, its site does not align with any of the protected strategic views of St Paul’s or the protected borough views of the cathedral. It is also sufficiently distant from the River Thames not to appear in the backdrop to the Tower of London (World Heritage Site) or any of the riverside prospects, as illustrated by the modelled view from the Millennium Bridge, where the buildings would remain obscured by the massing of Tate Modern (see views A1 and A2). Nonetheless, the development does remain visible in a number of nearby and middle distance views, where it is seen within the settings of designated heritage assets although this is not in itself harmful.

Impact on Listed Buildings

133. The application site is in the vicinity of a number of listed buildings and structures (incl. bollards and railing), most notably: Hoptons Almshouses,

Hopton Gardens (Grade II*) and the Kirkaldy Works, 99 Southwark Street (Grade II*), along with 89, 97 and 124-126 Southwark Street (Grade II) to the northeast/ north; the Welsh Congregational Chapel (Grade II) and Former Fire Station and Winchester House (Grade II) in Southwark Street to the east/ southeast; and Rochester House, 43-44 Dolben Street; (Grade II) to the west of the site.

134. As with the townscape impacts, because of the scale and built up character of the urban fabric, the development is generally obscured from views when looking towards the listed buildings, including the Grade II* Kirkaldy Works and Hopkins Buildings. Where the development is visible, it is often the uppermost storeys that are seen, but without appearing so prominent as to disrupt the settings of the listed buildings. In the view of Rochester House (view 11), the development is to the right of the Grade II listed building, where it is mostly obscured by the railway viaduct in the middle ground. The outcome is that it is read as being distinctly at a distance, where its rational appearance has no detrimental impact on the heritage asset. Similarly, in the view of the Welsh Chapel (view 18), the upper floors will be seen to the left of the listed building, but in the distance where they will form part of the evolving backdrop that would not affect the listed building's setting (view 18).
135. The exception is the view from immediately outside Neo-Bankside in Southwark Street (view 13), where the upper floors of the East Building appear above the Grade II listed warehouse (89 Southwark Street) and the final full floor and set back upper floor of the West Building sit directly above the unlisted 95 Southwark Street, but to the left of the Grade II listed Holmwood Buildings (97 Southwark Street) on the opposite corner. The development would be more obvious, but the view would be glimpsed and experienced within a wider context of large scale buildings. The impact on the settings would be minor and would not detract from the significance of the listed buildings.

Impact on Conservation Areas and non designated heritage assets

136. The application site is not within a conservation area, albeit the conservation areas Thrale Street and Union Street are located nearby to the east and south/ southeast of the site, respectively. The submission provides verified views from each of the conservation areas. Looking at them briefly, from the Thrale Street conservation area the most evident view towards the proposed tall buildings is from Thrale Street at its junction with Southwark Street (view 3). This confirms that neither building would be visible, being fully obscured by the mid-rise blocks along the main road (no.55, 57 and 59 Southwark Street).
137. From Union Street conservation area, the uppermost floors of the West Building are visible, as is the top of the East Building above the foreground buildings; although in the case of Flat Iron Square (view 5) and Mint Street park (view 7) and Sawyer Street (view 8) the views include trees that would obscure the buildings when in leaf. The buildings are more obvious in the westward views along Union Street towards its junction with Borough High Street, where the East Building would terminate the view and the West Building rise slightly to the left. However, they remain in scale with the middle

ground buildings within the conservation area and would become obscured by trees when in leaf (view 4). The buildings are fully obscured by the context in the view from Great Guildford/ Copper Street (view 16). Finally, closer by from Union Street/ Ewer Street (view 6), the buildings are distinctly visible rising above the railway viaduct. Though large, they appear calm and well-ordered, and do not dominate the context.

138. Overall, whilst the buildings are occasionally seen from nearby conservation areas, they do not detract from the views or harm their settings as heritage assets.

Landscaping

139. The scheme includes extensive new landscaping both at street and roof levels that is well-designed and appropriate. At grade, the proposed central open space is set out as a central landscaped public space, comprising hard landscaping with tree cover. The hardscape is reclaimed bricks from the site. The printworks theme is brought through to the proposed street furniture, which features large, wooden cube seating that mimic oversized printing blocks
140. The soft landscaping includes a 170sqm area of tree planting and green space in the middle of the central public space, laid out as group of trees towards the south of the public space as well as planting on the pedestrian route to Ewer Street and the provision of a tree at the entrance to the public space on Lavington Street. The provision of trees is welcome; the balance of hard to soft landscaping within the space was initially a concern but the applicant has increased the planted area by 55% and now the balance between planting and hard landscaping is considered to be optimal.
141. Elsewhere, the currently gated service road at the rear is made publicly accessible and is resurfaced in reclaimed cobblestones as a shared surface, intended to provide mainly pedestrian access as part of the Low Line, connecting the new public space with Ewer Street, but also access to the railway arches. The choice of finish is potentially high quality and appropriate, helping to retain the industrial character of the context, although care will be needed in terms of ensuring comfortable disabled access. The route is lined on the north side by a planting swathe with several trees and bench seating. The green zone functions as part of a SUDs system, with rainwater run-off collected in repurposed holding tanks that would be sunk below pavement level. The approach is novel and provides an attractive amenity. The surrounding highway is repaved in concrete paving.
142. Finally, the buildings propose well planted high level terraces and rooftop gardens that whilst providing good amenity for the office tenants, are also occasionally glimpsed, providing a welcome green fringe to the buildings' shoulders and main rooflines.
143. Overall, the landscaping is generous, good quality and welcome in principle, and it is acknowledged that an element of events programming/ meanwhile activity would help to animate the space. An Urban Greening Factor of 0.3 would be achieved which is compliant with the standards set out in the ItP

London Plan and 15.6% of the site would be open space which meets the requirements set out in the New Southwark Plan site allocation. A condition for the landscaping is recommended in order to secure appropriate planting and species.

Design Review Panel

144. The proposals were considered by the Council's DRP at the pre-application stage in November 2019. The Panel acknowledged the opportunity for an exemplary scheme for sustainable design, with the re-purposing of the existing building and targeting of a carbon-neutral development. It accepted the general scale, albeit the Panel was not unanimous. However, it did highlight the plant rooms as being too prominent and the massing of the West Building as too much for the central open space, which consequently felt residual. It encouraged more articulation of its frontage. The Panel also highlighted the importance of activating the public realm and landscaping.
145. In response, the designs have been amended to better incorporate the plant, revising the set back top floor designs to incorporate the plant and extend their elevations to obscure the plant from view. The scale of the West Building has been modified and its massing eased, lowering elements and cutting stacked balconies into its main elevation onto the public space. The ground floor designs have evolved, with the retail predominating onto the public space and the main office reception helping to animate the space. The size of the central public space and the landscaping approach remain generally unchanged. Overall, the response to the DRP's comments has been generally positive.

Conclusions on design and heritage

146. The proposals are for a new office development that builds on the existing grain and texture of industrial buildings, providing two substantial, tall buildings set either side of a new public space. The scheme aims to be sustainable, making use of a significant element of the existing printworks as a base for a ten storey building, extended using a hybrid CLT and steel structure and modern curtain walling.
147. The 15 storey is new build using the new system throughout. Materials are recycled for use on the site where possible. The architecture is engaging, both in terms of its animation of the public realm and its appearance within Lavington Street and Ewer Street. The buildings are large scale, but are well articulated, bringing a coherency in shoulder height to the street, and a dynamic form above. Despite the buildings' scale, they are not especially prominent within the wider townscape; their ordered form and appearance sitting calmly within most backdrops and becoming part of the more varied townscape that is emerging within Bankside.
148. The development does not detract from the settings of the nearby listed buildings and conservation areas. The functional quality of the commercial offices is high. The development includes a new central public space and opens up a rear service road for public access, providing welcome public open space in a built-up area and increasing local permeability. Subject to

confirmation of detailing and material finishes (including landscape), the development should make for a high quality design with a strong sense of place

Impact of proposed development on amenity of adjoining occupiers and surrounding area

149. Strategic Policy 13 of the Core Strategy sets high environmental standards and requires developments to avoid amenity and environmental problems that affect how we enjoy the environment. Saved Policy 3.2 of the Southwark Plan states that planning permission for development will not be granted where it would cause a loss of amenity, including disturbance from noise, to present and future occupiers in the surrounding area or on the application site. Furthermore, there is a requirement in Saved Policy 3.1 to ensure that development proposals will not cause material adverse effects on the environment and quality of life.
150. A development of the size and scale proposed has the potential to impact on the amenities and quality of life of occupiers of properties both adjoining and in the vicinity of the site.

Overlooking

151. In order to prevent harmful overlooking, the Residential Design Standards SPD 2011 requires developments to achieve a distance of 12m at the front of the building and any elevation that fronts a highway and a minimum of 21m at the rear.
152. This distance would be met in all instances with the exception of the building located on the adjacent site to the rear of 15 Great Suffolk Street. This is a tall building (14 storeys) that comprises student accommodation and the opposing façades between this building and the West Building would be nine metres apart. In this instance the separation distance is considered acceptable as the affected façade on the student accommodation building accommodates a stairwell, and bathrooms on either side of the stairwell. These are not habitable rooms and as such would not be impacted in terms of overlooking or sense of enclosure. There would be bedroom windows located at each end of this façade however these bedrooms benefit from additional windows on the north or south facades and as such it is considered that amenity levels would be retained.

Daylight

153. A daylight and sunlight report has been submitted as part of the Environmental Statement. The report assesses the scheme based on the Building Research Establishments (BRE) guidelines on daylight and sunlight.
154. The BRE Guidance provides a technical reference for the assessment of amenity relating to daylight, sunlight and overshadowing. The guidance within it is not mandatory and the advice within the guide should not be seen as an instrument of planning policy. The guidance notes that within dense urban environments and areas of modern high rise buildings, a higher

degree of obstruction may be unavoidable to match the height and proportion of existing buildings. The application site is located within an Opportunity Area within the CAZ and has been identified as suitable for a tall building. There are several examples of tall buildings within the local area including the completed developments at Neo Bankside and Bankside 123 as well as consented schemes at Sampson House and Ludgate House, and the site known as 18 Blackfriars Road, which are all within close proximity to the site.

155. The BRE sets out the detailed daylight tests. The first is the Vertical Sky Component test (VSC). This test considers the potential for daylight by calculating the angle of vertical sky at the centre of each of the windows serving the residential buildings which look towards the site. The target figure for VSC recommended by the BRE is 27% which is considered to be a good level of daylight and the level recommended for habitable rooms with windows on principal elevations. The BRE have determined that the daylight can be reduced by about 20% of their original value before the loss is noticeable. Impacts on VSC can generally be categorised as:

| Reduction in VSC | Level of impact |
|------------------|-----------------------------|
| 0-20% | Negligible (not noticeable) |
| 20.1-30% | Minor |
| 30.1-40% | Moderate |
| 40% + | Major |

156. The second method is the No Sky Line (NSL) or Daylight Distribution (DD) method which assesses the proportion of the room where the sky is visible, and plots the change in the No Sky Line between the existing and proposed situation. It advises that if there is a reduction of 20% in the area of sky visibility, daylight may be affected.

157. The daylight study considers the impact on the following neighbouring buildings:

- Braque Building, 86 Ewer Street
- Ernst Building, 142 Union Street
- Rosler Building, 85 Ewer Street
- 144-158 Union Street
- 160-162 Union Street (in part)
- 28 Great Suffolk Street
- 30 Dolben Street
- 20-22 Great Suffolk Street
- 18 Great Suffolk Street
- Isis House, 69 Southwark Street

158. Each of these properties will be taken in turn.

Braque Building, 86 Ewer Street

159. No windows within this building would experience a noticeable loss of VSC and none of the rooms assessed would be subject to noticeable reductions in NSL. As such the impact on this building is considered to be negligible as all rooms and windows would continue to comply with the BRE guidelines.

Ernst Building

160. As with the Braque Building, no windows at Ernst House would experience a noticeable loss of VSC and no rooms would be subject to any noticeable reduction in NSL. As such the impact on this building is considered to be negligible as all rooms and windows would continue to comply with the BRE guidelines.

Rosler Building

161. The Rosler Building sits on the corner of Ewer Street and Union Street, to the south east of the application site. The Braque Building and Ernst Building sit to the west and closer to the proposed development. Given that the proposed development would have no noticeable impact on either the Braque Building or the Ernst building, it can be determined that there would be no changes to either VSC or NSL at the Rosler Building outside the scope of the BRE Guidelines and as such there would be no noticeable impact on this building.

144-158 Union Street

162. None of the windows assessed for VSC at these buildings would see any noticeable losses as defined by the BRE. With regards to NSL, 20 of the 24 rooms assessed would remain fully compliant with the BRE. There would be a total of four rooms that would see reductions in NSL of between 25% and 26.6% which would constitute a minor impact overall and would be balanced against the fully compliant VSC levels.

160-162 Union Street

163. No windows within this building would experience a noticeable loss of VSC and none of the rooms assessed would be subject to noticeable reductions in NSL. As such the impact on this building is considered to be negligible as all rooms and windows would continue to comply with the BRE guidelines.

28 Great Suffolk Street

164. No windows within this building would experience a noticeable loss of VSC and none of the rooms assessed would be subject to noticeable reductions in NSL. As such the impact on this building is considered to be negligible as all rooms and windows would continue to comply with the BRE guidelines.

30 Dolben Street

165. No windows within this building would experience a noticeable loss of VSC and none of the rooms assessed would be subject to noticeable reductions in NSL. As such the impact on this building is considered to be negligible as all rooms and windows would continue to comply with the BRE guidelines.

20-22 Great Suffolk Street

166. No windows within this building would experience a noticeable loss of VSC and none of the rooms assessed would be subject to noticeable reductions in NSL. As such the impact on this building is considered to be negligible as all rooms and windows would continue to comply with the BRE guidelines.

18 Great Suffolk Street

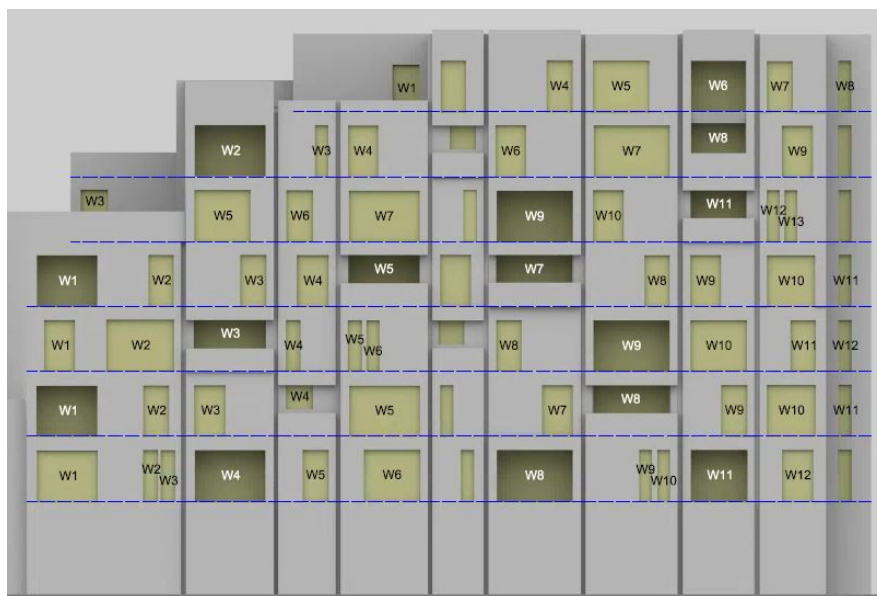
167. A total of 68 windows have been assessed for VSC at 18 Great Suffolk Street. 60 of the windows would remain compliant with the BRE in terms of experiencing less than a 20% reduction in VSC and as such it is concluded that they would experience no noticeable VSC impact. The remaining eight windows would experience VSC reductions of more than 20% which may be noticeable to the occupiers and these results are set out below:

| Room Use | Existing VSC | Proposed VSC | Loss | %Loss |
|----------|--------------|--------------|------|-------|
| W11/10 | 4.17 | 2.84 | 1.87 | 39.70 |
| W8/11 | 6.33 | 4.81 | 1.52 | 24.01 |
| W9/12 | 7.59 | 6.03 | 1.56 | 20.55 |
| W1/13 | 4.14 | 3.06 | 1.08 | 26.09 |
| W11/14 | 10.47 | 7.88 | 2.59 | 24.74 |
| W2/15 | 5.86 | 3.27 | 2.59 | 44.20 |
| W8/15 | 15.03 | 11.87 | 3.16 | 21.02 |
| W6/16 | 13.13 | 9.44 | 3.69 | 28.10 |

168. In terms of the scope of impact six of the windows would see reductions of between 20.55% and 28.10% which would be categorised as minor; one window would see a reduction of 39.70% which would be a moderate impact and one window would see a reduction of 44.2% which could be categorised as a major impact. However it should be noted that the existing VSC levels are low and as such any reduction would result in a disproportionate % reduction in VSC. It should therefore be noted that despite there being one window each experiencing a moderate and major impact, the actual real terms reduction in VSC for these windows would be 1.87 and 2.59 respectively.

169. It should also be noted that these windows are located either within recesses in the building or behind recessed balconies as can be seen on the image below:

Image – 18 Great Suffolk Street Window Map



170. Deep recesses and recessed balconies impede views and light from the top portion of the sky and as such can impact on a window's VSC. In accordance with the BRE guidance, an additional assessment has been undertaken that brings the face of the window forward so that instead of being recessed or hidden behind a deep balcony, they appear aligned with the main façade of the building and this alternative testing is endorsed by the BRE. The results of this test demonstrate that the eight windows set out above would meet the BRE criteria in that no reductions in excess of 20% would be experienced. The results therefore demonstrate that it is the presence of the recess/balcony that is the main factor in the loss of light rather than the proposed development.
171. In terms of NSL, 59 rooms have been assessed and 55 of these rooms would continue to have BRE compliant NSL with no noticeable impacts. The remaining four rooms would see losses of between 22.1% and 29.2% which would all be categorised as minor impacts. As with the VSC results, three of the affected rooms would be located behind recesses/balconies and applying the same methodology as before it can be established that it is this design feature which is the main limiting factor. Additionally, two of these rooms would benefit from windows that would be unaffected in terms of their VSC levels
172. The remaining affected room would experience a loss of NSL of 22% which is only slightly beyond the BRE guidelines and would also benefit from a window that would have no noticeable loss of VSC. It is therefore considered that there would be no significant impact on this building or its occupiers in terms of a loss of VSC or NSL.

Isis House, 69 Southwark Street

173. A total of 42 windows have been assessed for VSC at Isis House. 37 of the windows would remain compliant with the BRE in terms of experiencing less than a 20% reduction in VSC and as such it is concluded that they would experience no noticeable VSC impact. The remaining five windows would experience VSC reductions of more than 20% which may be noticeable to the occupiers and these results are set out below.

| Window | Existing VSC | Proposed VSC | Loss | % Loss |
|--------|--------------|--------------|------|--------|
| W1/191 | 1.29 | 0.36 | 0.93 | 72.09 |
| W2/191 | 0.47 | 0.21 | 0.26 | 55.32 |
| W2/192 | 2.84 | 1.50 | 1.34 | 47.18 |
| W3/192 | 2.56 | 1.81 | 0.75 | 29.30 |
| W1/193 | 6.79 | 4.72 | 2.07 | 30.49 |

174. Each of these five windows has a very low level of VSC at present and as such any reduction in VSC would result in a disproportionate loss in percentage terms. As can be seen from the table set out above, the real terms loss of VSC for these windows would equate to between 0.26 and 2.07.
175. Each of these five windows is located behind a deep recessed balcony as

shown on the window map below:

Image – Isis House window map



176. As has been explained previously deep recesses and recessed balconies can impact on a windows ability to maximise light levels as they typically remove the top portion of the sky from views in the window plane. As such, a further assessment has been undertaken for these affected windows which

would remove the balcony. The results of this assessment demonstrate that the five windows in question would meet the BRE criteria in that no reductions in excess of 20% would be experienced and as such there would be no noticeable reductions. The results therefore demonstrate that it is the presence of the recessed balcony that is the main factor in the loss of light rather than the proposed development.

177. In terms of NSL, 21 rooms have been assessed and of these 17 would remain compliant with the BRE guidance. The remaining four rooms would see reductions in excess of 20% and as such would be noticeable to the occupiers however it should be noted that all four of these rooms are positioned below balconies which have been demonstrated to impede daylight availability. Additionally, two of these rooms benefit from windows that would be unhindered in terms of VSC. Overall the impacts of the development on this building are considered to be minor in nature and would have no significant impact on amenity.
178. The applicant has also assessed the impact of the development on the adjacent site at 55 Ewer Street which benefits from a consent to redevelop the site with a six storey building for either residential or aparthotel use. If the consented development was to be implemented as an aparthotel then the BRE guidelines would not apply given the transitory nature of an aparthotel's accommodation. If implemented as residential then there would be an expectation that the homes would be well lit. The applicant has undertaken an assessment of the consented scheme using Average Daylight Factor which the BRE considers as appropriate for new homes.
179. The results of the assessment demonstrate that all Living room/Kitchen/Diners or bedrooms that met the BRE guidance in the existing (approved) context would continue to meet the BRE guidance in the proposed context. Whilst there would be some reductions in ADF, there would be no reductions significant enough to take formerly compliant rooms below the BRE standards.
180. Given the building is not completed there are no occupants in place to experience any reduction of daylight or sunlight, the proposed level of impact is considered acceptable.

Sunlight

181. All of the windows within 90 degrees of due south have been assessed with regards to impact on sunlight. The BRE guide states that if a window can receive 25% of summer sunlight, including at least 5% of winter sunlight between the hours of 21 September and 21 March, then the room would be adequately sunlight.
182. 82 rooms have been assessed for sunlight at 18 Great Suffolk Street, 20-22 Great Suffolk Street and Isis House. A total of four rooms would see reductions in sunlight beyond the BRE guidelines however this would be reduced to three rooms when overhanging balconies and recesses are taken into account and the three remaining rooms (all located in Isis House) would only see reductions in winter months as they would meet the BRE

requirements for annual sunlight. Overall, the impact on sunlight is considered to be limited and acceptable in the context of the level of impact and the urban environment.

Conclusion on daylight and sunlight

183. The results of the daylight assessment demonstrate that there would be a very limited number of windows and rooms that would not meet the relevant daylighting standards of the BRE and in all cases would be affected by overhanging balconies and window recesses. The level of individual and cumulative impact is considered to be minor and would not detrimentally harm the amenity of the current occupiers. Consideration should also be given to the fact that the site is in an Opportunity Area within a Central London location and accordingly the BRE standards should be applied with some degree of flexibility. Overall, the impact of the proposed development in terms of daylight and sunlight is considered to be acceptable.

Solar Glare

184. The BRE notes that glare or solar dazzle can occur when sunlight is reflected from a glazed façade or area of metal cladding. This can affect road users. As such the applicant has considered the impact of solar glare to nearby road users and the railway. The streets that could potentially be affected by glare are Lavington Street and Ewer Street. Other streets are considered to be sufficiently separated or screened such that glare is not likely to be a problem.
185. In terms of glare on Ewer Street, it is considered that the potential for glare exists only for a short time at high angles to the road users' vision and only for short periods throughout the year. Low angled glare, which would only occur early in the morning and evening when the sun rises and falls thereby reflecting off a vertical façade, is unlikely to occur due to shielding from other buildings which would block the sunlight being reflected.
186. On Lavington Street which sits immediately to the north of the application site, glare would only be likely to occur in the morning or evening at the height of summer and even then the instances of glare would likely be low and short lived due to the position and size of the existing nearby buildings.
187. The applicant has also considered the impact on the railway line which sits to the south of the site. Train drivers can only travel in either an east or west direction and as such the potential for glare only exists in the mornings and evenings when the sun is facing the opposite direction to the driver. At these times any sunlight reflected off of the proposed buildings would be unlikely to affect drivers due to the presence of intervening buildings such as James Frobisher House.

Noise and vibration

188. Demolition and construction activities including associated traffic could give rise to some noise disturbance at nearby homes and adjacent buildings as well as affecting pedestrians at street level. These impacts are associated

with the demolition and construction of the development and whilst they have the potential to cause disturbance they would be short term and temporary and relevant planning conditions would be imposed to offer mitigation and control hours of work as well as agreeing routes for construction vehicles.

189. The completed development is unlikely to result in any adverse noise or vibration impacts and other than standard conditions around hours of use and plant noise, no further mitigation would be required.

Energy and sustainability

190. The London Plan Policy 5.2 sets out that development proposals should make the fullest contribution to minimising carbon dioxide emissions in accordance with the energy hierarchy Be lean: use less energy; Be clean: supply energy efficiently; Be green: use renewable energy. This policy requires development to have a carbon dioxide improvement of 35% beyond Building Regulations Part L 2013 as specified in Mayor's Sustainable Design and Construction SPG.
191. Policy 5.3 states that developments should demonstrate that sustainable design standards are integral to the proposal, including its construction and operation, and ensure that they are considered at the beginning of the design process. London Plan policy 5.7 requires that major development proposals should provide a reduction in expected carbon dioxide emissions through the use of on-site renewable energy generation, where feasible.
192. Strategic Policy 13 of Core Strategy states that development will help us live and work in a way that respects the limits of the planet's natural resources, reduces pollution and damage to the environment and helps us adapt to climate change. The applicants have submitted an energy strategy and a sustainability assessment for the proposed development which seek to demonstrate compliance with the above policy.

Be Lean

193. The measures proposed include:
- Taking a fabric-first approach in order to reduce energy demand and CO2 emissions by optimising the building façade which will balance the provision of natural light against artificial lighting and the provision of passive solar heating to limit the need for space heating in winter whilst limiting solar gain in summer and the need for space cooling;
 - Use of efficient thermal envelopes to optimise heat losses and gains;
 - Efficient glazing energy and light transmittance;
 - High efficiency mechanical ventilation with heat recovery;
 - Water efficient fixtures and fittings that will limit demand for hot water;

Be Clean

194. Currently there are no nearby district heating networks for the site to connect to and no on-site CHP system is proposed. As such, no carbon savings are reported from the 'Be Clean' stage of the energy hierarchy. The development

would be futureproofed in order to ensure the potential to connect to a future district heating network should one become available.

Be Green

195. The measures proposed include:

- Use of High Efficiency Air Source Heat Pumps with simultaneous heating and cooling;
- Provision of photovoltaic panels on the roofs of both buildings to generate electricity.

Be Seen

196. Introduced as part of the Intend to Publish New London Plan, 'Be Seen' is the newest addition to the GLA's energy hierarchy. It requires developments to predict, monitor, verify and improve their energy performance during actual operation.

197. The applicant has confirmed that the proposed development would be one of the first in the UK to follow the new Design for Performance (DfP) (NABERS UK) rating system, and is pursuing a DfP "base building rating". Design for Performance is a Better Buildings Partnership (BBP) initiative to tackle the 'performance gap' and ensure new office developments deliver on their design intent. The applicant is a key sponsor of the scheme as DfP 'Pioneers' with a commitment to seek to implement this approach on pilot schemes and commit resources to developing the scheme in the UK.

198. As part of the DfP process, advanced energy simulation is being completed during design stages and will be updated post-construction, and will inform commissioning and post-occupancy optimisation of the completed building. Effective metering and monitoring will be enabled by suitable sub-metering infrastructure within the buildings. This approach will ensure energy efficiency is delivered in reality, and is identified as best practice within GLA "Be Seen" draft guidance.

Whole life carbon and the circular economy

199. Policy GG5 (Growing a Good Economy) of the Intend to Publish London Plan promotes the benefits of transitioning to a circular economy as part of the aim for London to be a zero-carbon city by 2050. Policy D3 (Optimising Site Capacity Through the Design-Led Approach) requires the principles of the circular economy to be taken into account in the design of development proposals in line with the circular economy hierarchy. Policy SI7 (Reducing Waste and Supporting the Circular Economy) of the Intend to Publish New London Plan requires referable applications to develop circular economy statements.

200. The development has fully considered the circular economy, waste reduction and whole life carbon as key elements of the project. Both the architectural

and structural design of the development have been influenced by the need to minimise whole life carbon. Central to this is the retention of the majority of the structure of the East Building. Retention enables the existing building to be renewed and brought up to modern standards whilst minimising the use of natural resources. Overall embodied carbon emissions are therefore significantly reduced as a result of retaining the majority of the East Building

201. An overarching philosophy of 'lightweight' design has been adopted, whilst enabling Design for Manufacture and Assembly (DfMA) opportunities. It is proposed that the East building extension will be created using an efficient, lightweight truss steel frame, with cross laminated timber (CLT) floor panels. Due to the original use of the East Building as a paintworks incorporating lots of heavy duty machinery and materials, the existing building was designed for heavy loads and as such the existing foundations can accommodate the increased loads of the extension without requiring foundation strengthening which in turn saves carbon.
202. The new West Building has been conceived as a simple rectilinear block which maximizes Design for Manufacture and Assembly (DfMA) potential being composed of a single efficient repetitive structural module. The structural grid has been optimised to achieve the most efficient structure with cellular steel beams and cross laminated timber (CLT) floor panels proposed. Using CLT also has further circularity advantages over traditional construction, for example ease of disassembly, adaptation & re-use at end-of-life.

Conclusions on energy and sustainability

203. Retention of the existing building makes a substantial contribution towards minimising the whole life carbon of the scheme and the proposed construction method and materials being proposed will allow for sustainability measures to be maximised. In terms of the energy hierarchy the Be Lean and Be Green measures would achieve a total carbon reduction of 35.5% taking into account SAP10 and decarbonising of the electricity grid and would exceed the requirements of the policy. Furthermore, BREEAM 'Excellent' is forecast to be achieved which is positive factor and will be secured by condition.

Ecology and biodiversity

204. The applicant has submitted an Ecological Appraisal which confirms that the site is currently of low ecological value with minimal coverage of semi natural habitats and no ecological receptors of note such as for protected species. The scheme therefore has the potential to provide ecological enhancements in order to achieve net gains for biodiversity through the proposed enhancements:
- 205.
- Extensive, substrate-based biodiverse roofs on suitable flat roof areas;
 - Vertical greening/green walls composed of climbing plants supported by trellis systems;

- Provision of bird, bat and invertebrate nest boxes in suitable locations, targeting notable/protected species known to be in the area; and
- Wildlife friendly landscaping in all soft landscaping/public realm areas.

206. The ecological measures set out above in addition to the landscaping strategy for the development is expected to achieve an Urban Greening Factor of 0.3 which is a requirement of Policy G5 of the Intend to Publish New London Plan. The Council's ecologist has reviewed the application and raises no objection subject to additional conditions to maximise the positive ecological benefits of the development.

Air quality

207. It is anticipated that there would be some impacts on air quality as a result of the construction phase of the development. During the demolition and construction phase it is recognised that there would be impacts such as dust in the air as well as dust and dirt on the highway as a result of construction vehicle movements. This can be suitably managed and mitigated through a Construction Environmental Management Plan which would be a conditioned requirement of any consent issued. The impact of construction vehicle traffic emissions is not considered to be significant.

208. A Site Suitability Assessment has been completed to quantify the concentrations of nitrogen dioxide and particulate matter at the site and the overall results conclude that the site is suitable for office use. Overall, air quality impacts during the construction and operation of the proposed development are not considered to be significant and the development would be expected to achieve Air Quality Neutral status.

Ground conditions and contamination

209. An assessment of the ground and groundwater conditions has been undertaken. Given the sites previous industrial use it is considered that there is likely to be contamination as a result of made ground in addition to some asbestos and waste from the previous industrial use of the site. As such it is recommended that condition relating to site investigations and remediation strategies are imposed on any consent issued.

Wind

210. A Wind Assessment has been submitted that quantifies the risk of excessive windiness to pedestrians as well as wind comfort analysis. A total of 27 locations have been assessed including 12 at ground floor level and 15 above ground level. In all instances the assessment utilises the Lawson Comfort Criteria to establish suitable climatic conditions for the intended use.

211. The application site is generally sheltered from all wind directions due to the surrounding built environment. No landscaping proposals were included within the development as part of the initial assessment and as such this constitutes a conservative approach to pedestrian wind modelling. Prior to the inclusion of landscaping elements, three locations were found to have wind conditions which would not be appropriate for their intended use and as

such would require mitigation. These locations are:

212. • Location 3 - North outdoor seating area
 • Location 4 - South outdoor seating area
 • Location 26 - Level 13 terrace (west side)
213. The wind assessment confirms that the landscaping strategy would provide sufficient mitigation against the wind effects described at these locations. In terms of Location 26, mitigation would be in the form of planters and perimeter hedge planting. This would be secured through a Wind Mitigation Strategy which will be included as an obligation within the S106 Agreement.

Water resources and flood risk

214. The application site is located within Flood Zone 3 and as such is at risk of flooding although it does benefit from protection from the Thames Barrier tidal flood defence. The Environment Agency have reviewed the application and have confirmed that they have no objection.

Fire Safety

215. Policy 7.13 (B) of the London Plan 2016 requires development proposals to contribute to the minimisation of potential physical risks, including those arising as a result of fire. Policy D12 of the Intend to Publish New London Plan expects all development proposals to achieve the highest standards of fire safety and to this end requires applications to be supported by an independent Fire Strategy, produced by a third party suitably qualified assessor.
216. A Fire Safety Statement has been submitted which covers the following elements:
- Building construction;
 - Means of escape provisions;
 - Features incorporated to reduce the risk to life;
 - Fire fighting access within the building;
 - Fire fighting access to the building;
 - Measures to protect the base build fire safety strategy.
217. The Strategy was produced by Hoare Lee and has been reviewed and approved by a senior chartered fire engineer. The London Fire and Emergency Planning Authority have also been consulted on the proposed development and have raised no objection subject to an undertaking being given that access for fire appliances as required by Part B5 of the current Building Regulations Approved Document B and adequate water supplies for firefighting purposes will be provided.

Archaeology

218. The site is located within the Borough Bermondsey and Rivers

Archaeological Priority Zone in an area of known roman archaeology and the site contains the first site in Southwark where the Kirkcaldy Testing Machine was in use.

219. The applicant has submitted a desk based assessment however the Council's Archaeologist has reviewed this and considers that the applicant will need to produce a written scheme of investigation (which will be secured by condition) that covers the following points:
220. Firstly the archaeological monitoring of site investigation works and boreholes is essential to the understanding of the geo-archaeology, and underlying topography of the site. These elements should be assessed against the construction impacts and further mitigation suggested. The presence of roman vessels on the site indicates the topography in this area is complex. The written scheme of investigation will need to provide an adequate archaeological background that represents a suitable understanding of the site.
221. Following demolition to slab level only, a programme of evaluation works will need to be planned to determine the survival of material on site. This will then need to be followed by a programme of archaeological excavation and recording.
222. Historic England have listed the Kirkcaldy Testing Works and machine at grade II* a clear indication of the national significance of this structure and machine. Should remains of the earlier machine and support be identified on site these will require recording. If finds related to the machine are identified on site then provision should be made for these to be passed to the Kirkaldy Testing Museum. As assets of high significance are potentially being impacted by this development consideration should be made for the interpretation of the site and a public engagement event, in consultation with the Kirkaldy Testing Museum.
223. Further conditions that are recommended and will be attached to any consent issued include: Archaeological Evaluation; Archaeological Fieldwork; Foundation and Basement Design; Archaeological Public Engagement; and Archaeological reporting and publication.

Transport

224. The NPPF states that planning decisions should ensure developments that generate significant movement are located where the need to travel will be minimised and the use of sustainable transport modes can be maximised.
225. Core Strategy Strategic Policy 2 encourages walking, cycling and the use of public transport rather than travel by car. Saved Policy 5.1 of the Southwark Plan states that major developments generating a significant number of trips should be located near transport nodes. Saved Policy 5.2 advises that planning permission will be granted for development unless there is an adverse impact on transport networks; and/or adequate provision has not

been made for servicing, circulation and access; and /or consideration has not been given to impacts of the development on the bus priority network and the Transport for London (TfL) road network.

Site context

226. Lavington Street is a two way carriageway subject to a 20 mph speed restriction and connects to the A3200, Southwark Street in the north and Great Suffolk Street in the west. Ewer Street is a one way street northbound. The area is highly accessible being less than 1 minute walk to bus stops for access to London Bridge and Waterloo and an approximate 500 metre walk east from Southwark Underground Station. As such the site benefits from a PTAL of 6b. Lavington and Ewer Street sit within CPZ C1 which operates Mon – Fri 8 – 18.30 and Sat 9.30 – 12.30.

Site layout

227. The proposed buildings are arranged around a central public space accessed from Lavington Street. This public realm will provide access from Lavington Street to the railway arches and along a new public route to the rear of the site to Ewer Street. The layout is rational and would improve pedestrian connectivity as well as opening up a section of the low line which is a benefit of the scheme. There would be a single point of access for vehicles and this would be located on Lavington Street, providing access to the internal loading bay from which the entire site would be serviced as both buildings are linked at basement level.

Image – New pedestrian route (future ‘Low Line’)



Cycling and cycle hire

228. The development would provide a total of 805 cycle parking spaces which would include 705 long stay spaces in the upper basement level and 100

short stay spaces distributed across the ground floor. This complies with current policy as well as the standards set out in the ItP London Plan. However further cycle parking should be provided to bring the development in line with the increased standards set out in the draft New Southwark Plan and this should include raising the proportion of Sheffield stands to 20% as well as providing space for six disabled cycle parking spaces and four cargo bikes. A planning condition will be imposed in order to maximise cycle parking.

229. Transport for London have advised that the cycle hire stations throughout Bankside are heavily used and as a result the developer will need to make a contribution of £220,000 towards new cycle hire docking stations in the vicinity of the site and this will be secured as part of the S106 Agreement.

Deliveries and servicing

230. The two buildings would be serviced off street via the loading bay in the West Building and linked basements. On-site servicing is welcomed as this will minimise any impact on the highway.
231. The loading bay will have capacity for three servicing vehicles and this will meet the servicing demands of the building. It is recommended that full details of servicing, how it will be managed and how deliveries could be consolidated be secured by a Service Management Plan as part of the S106 Agreement.

Traffic and transport impacts

232. The Council's Transport Officer has undertaken an independent review of trip generation for the site using the TRICS database. The use of TRICS is supported by TfL.
233. The Transport Officer, using TRICS, has calculated that in terms of servicing, the development would produce approximately 55 and 50 two-way net additional vehicle movements in the morning and evening peak hours respectively. This level of trip generation is a significant increase on the applicant's estimates but even with the higher figures generated through the TRICS database, this level of vehicle movement would not have any noticeable adverse impact on prevailing vehicle movements on Lavington Street or adjoining roads or any adverse impact on the transport network.
234. In terms of public transport, the development proposal would produce around 1119 and 919 net supplementary two-way public transport trips in the morning or evening peak hours. Transport for London have confirmed that the development, due to the high PTAL and various modes of public transport available, would not have any significant adverse impact on the public transport network. Notwithstanding, the Council's Transport Officer has requested that the applicant make a financial contribution of £135,000 towards securing improved bus services in the area and this will be included as part of the S106 Agreement.

Car parking

235. Saved Policy 5.6 (Car Parking) of the Southwark Plan and Core Strategy Policy 2 (Sustainable Transport) state that for office use, a maximum of one space per 1500sqm is permitted which would equate to a maximum of six spaces. No parking (except disabled provision) is permitted for retail or culture uses.
236. The development would provide two off-street accessible car parking bays which is considered acceptable and supported by both TfL and the Council's Transport Officer.

Conclusions on transport

237. The proposed site layout including the vehicular access points, position of buildings in relation to highways and the new pedestrian routes are all welcomed. The proposed development would minimise car parking whilst encouraging walking and cycling which supports the Council's sustainability agenda.
238. The development has been shown to have a very limited impact on the public transport network in terms of vehicle trips and the proposed servicing arrangements would minimise any highways impacts.
239. The S106 Agreement should secure details of a Demolition/Construction Environmental Management; Construction Logistics Plan, Delivery Consolidation Strategy; Service Management Plan; Car Parking Exemption; and Travel Plan.

Planning obligations (S.106 undertaking or agreement)

240. Saved Policy 2.5 of the Southwark Plan and Policy 8.2 of the London Plan advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal. Saved Policy 2.5 of the Southwark Plan is reinforced by the recently adopted Section 106 Planning Obligations 2015 SPD, which sets out in detail the type of development that qualifies for planning obligations. Strategic Policy 14 'Implementation and delivery' of the Core Strategy states that planning obligations will be sought to reduce or mitigate the impact of developments. The NPPF which echoes the Community Infrastructure Levy Regulation 122 which requires obligations be:
- necessary to make the development acceptable in planning terms;
 - directly related to the development; and
 - fairly and reasonably related in scale and kind to the development
241. Following the adoption of Southwark's Community Infrastructure Levy (SCIL) on 1 April 2015, much of the historical toolkit obligations such as Education and Strategic Transport have been replaced by SCIL. Only defined site specific mitigation that meets the tests in Regulation 122 can be given weight.

| Planning Obligation | Mitigation | Applicant Position |
|--------------------------------|---|--------------------|
| Affordable workspace | 3,305sqm of workspace provided on affordable terms at a discount of 25% on market rent for a period of 30 years. | Agreed. |
| Archaeology | £11,171 | Agreed. |
| Cycle Hire | Three years membership for all eligible occupiers. | Agreed. |
| Employment During Construction | Provide 108 jobs, 108 short courses and 27 construction industry apprentices for Southwark residents or make a payment of £521,100. | Agreed. |
| Employment in the Development | Provide 343 sustained jobs for unemployed Southwark residents or make a payment of £1,474,900. | Agreed. |
| Public realm improvements | Footway improvements - £26,080 Delivery of new public space and low line route | Agreed. |
| Transport for London | Cycle hire docking station - £220,000. Legible London – £25,000 | Agreed. |
| Transport (site specific) | Raised entry treatments - £60,000 Raised tables - £58,000 Bus service improvements - £135,000 DSP Bond - £32,700 | Agreed. |
| Trees | Not specifically required unless unforeseen issues prevent trees from being planted or they die within five years of completion of the development in which case a contribution will be sought - £6,000 per | Agreed. |

| | | |
|--|-------|--|
| | tree. | |
|--|-------|--|

S106 Provisions

242. The legal agreement will also secure a Construction Logistics Plan; Site Wide Energy Strategy; Landscaping Strategy; Parking Permit Exemption; and Wind Mitigation Strategy. The agreement will also secure an admin charge of 2% of the total contributions.
243. As well as securing the affordable workspace at a 25% discount for 30 years, the legal agreement will also secure the key terms of the lease, a final specification of the workspace, review periods, rent free periods (and rent stair casing) and service charge caps. The rent staircasing (or an equivalent discount if that it considered more appropriate to the development, to be agreed in writing) will be set out as follows:
- 0-6 months at peppercorn rent;
 - 6-13 months at 40% of the Local Open Market Rent;
 - 14-22 months at 60% of the Local Open Market Rent; and
 - from month 23 onwards at 75% of the Local Open Market Rent.
244. The agreement will set out an obligation for the developer to submit and affordable workspace management plan and an affordable workspace marketing strategy.
245. The Legal Agreement will also secure the following S.278 works:
- Repave and widen footways including new kerbing fronting the development on Ewer Street and Lavington Street using materials in accordance with Southwark's Streetscape Design Manual (Yorkstone natural stone paving slabs and 300mm wide natural granite kerbs).
 - Reinststate redundant vehicle crossover on Lavington Street as footway.
 - Construct a raised pedestrian crossing on Lavington Street.
 - Construct the vehicle crossover to the relevant SSDM standards (DS132).
 - Resurface the carriageway for the site frontage on Lavington Street.
 - All utility covers on footway areas are to be changed to recessed type covers.
 - Upgrade street lighting on Ewer Street and Lavington Street to current LBS standards.
 - Repair any damage to the highway due to construction activities for the Development including construction work and the movement of construction vehicles

246. In the event that an agreement has not been completed by 31st March 2021, the Committee is asked to authorise the Director of Planning to refuse permission, if appropriate, for the following reason:
247. In the absence of a signed S106 legal agreement there is no mechanism in place to mitigation against the adverse impacts of the development through contributions and it would therefore be contrary to Saved Policy 2.5 Planning Obligations of the Southwark Plan 2007, Strategic Policy 14 Delivery and Implementation of the Core Strategy (2011) Policy 8.2 Planning Obligations of the London Plan (2016) and the Southwark Section 106 Planning Obligations and Community Infrastructure Levy SPD (2015).

Mayoral and borough community infrastructure levy (CIL)

248. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material 'local financial consideration' in planning decisions. The requirement for payment of the Mayoral or Southwark CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute towards strategic transport invests in London as a whole, primarily Crossrail. Southwark's CIL will provide for infrastructure that supports growth in Southwark. In this instance, based on information provided by the applicant, an estimated Mayoral CIL payment of £6,062,448.93 and a Southwark CIL payment of £3,012,630.36 would be due. This figure is an estimate only, and would be calculated in more detail once a final CIL liability form is submitted prior to implementation.

Community involvement and engagement

249. As part of the pre-application process the applicant held meetings with neighbouring landowners/occupiers as well as with Ward Councillors and resident groups and these are set out in the table below:

| Meeting | Date |
|--|--------------------|
| Meeting with Network Rail (neighbours of the site). | May 2019 – ongoing |
| Meeting with representatives of the Crane Building (neighbouring site). | 15 August 2019 |
| Meeting with representatives of the Mercure Hotel (adjacent to the site) | 17 September 2019 |
| Meeting with Ward Councillors | 10 October 2019 |
| Residents group meeting | 11 October 2019 |
| Meeting with representatives of the Europoint Building (neighbouring site) | 11 October 2019 |
| Meeting with representatives of the Chapter Living Student Accommodation (adjacent site) | 21 October 2019 |

250. The applicant also held four public consultation events throughout the pre-application period as set out below:

- Thursday 17th October 2019 – Jerwood Gallery – 17.30-18.30 (stakeholder preview only)
- Thursday 17th October 2019 – Jerwood Gallery – 18.30-20.30
- Saturday 19th October 2019 – Better Bankside Community Space – 15.30-20.30
- Monday 9th December 2019 – Better Bankside Community Space – 17.30-20.30

251. Further consultation was undertaken through the following:

- Dedicated consultation website (lavingtonst.co.uk) launched on 17 October 2019. Updated 9 December 2019;
- Invitation to both rounds of public exhibitions (including details of the website) mailed to 5,014 local residents in advance of the events;
- Half Page Colour advertisements placed in The Southwark News in the week prior to both rounds of public exhibitions. These advertisements included details of the website, along with a QR code enabling those with smart phones to link to a fly-thorough of the proposed development; and
- Posters featuring the details of the website and the QR code placed in locations such as shop windows to publicise the public exhibitions.

252. As part of its statutory requirements the Local Planning Authority sent letters to surrounding residents, displayed site notices in the vicinity, and issued a press notice publicising the planning application. Adequate efforts have, therefore, been made to ensure the community has been given the opportunity to participate in the planning process. Details of consultation undertaken by the Local Planning Authority in respect of this application are set out in the appendices. The responses received are summarised later in this report.

Consultation responses from external consultees

253. Summarised below are the consultation responses raised by external consultees, along with an officer response:

254. Environment Agency: The Environment Agency have commented that the applicants Flood Risk Assessment should:

- Use the latest information available to assess the flood risk. In the submitted FRA on page 7 it states that the modelling was completed in May 2017. The latest flood data was produced in December 2017.
- Provide suitable modelled flood levels (in metres above Ordnance Datum, mAOD) representing flood risk across the site;
- The submitted FRA (page 7) refers to a map of node locations in

appendix B but the map in appendix B (titled exceedance flow plan) does not appear to contain any node locations and instead appears to include a number of measurement that do not appear to relate to the nodes in table 5 on page 7. It is unclear what the measurements are for and what units they are in.

- State the finished floor levels for the proposed development (in metres above Ordnance Datum, mAOD).

Response: The applicant has submitted additional supplementary information that addresses these comments, including confirming that they have used the most up to date information as supplied by the Environment Agency themselves. The Environment Agency has reviewed the application and given that it is for commercial use which is a less sensitive use than residential they have confirmed that they have no objection.

255. Greater London Authority: In terms of the main points raised, the GLA are supportive of the redevelopment of the site to provide new office space subject to suitable affordable workspace being provided in line with the ItP London Plan. This should also include how a range of workspace typologies and rents can be accommodated. In terms of design the architectural approach is supported however it is considered that the East Building would benefit from refinement and simplification and key details in relation to architecture and materials should be secured by condition. With regard to energy, the GLA encourage the applicant to undertake more work to ensure the carbon reductions under Be Lean achieve the minimum of 15% reduction as set out in the ItP plan. Furthermore, the applicant should confirm what Urban Greening Factor the development would achieve.

Response: The applicant has provided further information on affordable workspace including quantum of floorspace, location and level of market rent reduction. The building itself has been designed/refurbished to offer maximum flexibility to meet the needs of a variety of potential occupiers. In terms of design, the approach to the East Building is fully supported by officers and will bring the existing building into a meaningful re-use with high quality architecturally designed additions providing an interesting and dynamic interface between the existing building and the proposed extensions. Materials and other details will be secured by condition. The applicant has also revisited energy and would now achieve an 18.3% reduction under Be Lean, thereby meeting the requirements of the ItP London Plan. The Urban Greening Factor has been confirmed as 0.3 which would also be compliant for an office led scheme.

256. Historic England: Do not wish to offer any comments and suggest that the views of the Council's specialist conservation advisers are sought.

Response: Noted.

257. London Fire Authority: An undertaking should be given that, access for fire appliances as required by Part B5 of the current Building Regulations Approved Document B and adequate water supplies for firefighting purposes will be provided.

Response: Noted and agreed, the relevant undertaking will be secure by condition on any planning consent issued.

258. London Underground: No comment.

Response: Noted.

259. Metropolitan Police: It is possible for the scheme to achieve Secured by Design standard and a condition should be added to that effect.
Response: Noted and agreed, the relevant condition will be attached to any consent issued.
260. Natural England: No objection.
Response: Noted.
261. Network Rail: Network Rail have responded noting the proposed development, the design and development intention, the public realm, opening up of the arches and potential pinch points for when the Network Rail site is developed, which they note is likely to be after the Lavington Street site. At this stage Network Rail have not raised any objection and note that the sites would be delivered separately. Network Rail have included guidance that will be attached to any consent issued as an informative that provides advice and guidance on developing land in close proximity to Network Rail infrastructure.
Response: Noted.
262. Thames Water: No objections subject to conditions.
Response: Noted, the relevant conditions which relate to water supply, proximity to water infrastructure and proximity to Thames Water assets.
263. Transport for London: No objections subject to conditions requiring a Travel Plan, Delivery and Servicing Management Plan and Construction Logistics Plan alongside contributions towards new Legible London signage and cycle hire infrastructure.
Response: Noted and agreed, the relevant plans, strategies and financial contributions will be secured in the S106 Agreement.

Consultation response from neighbours and representees

264. Following neighbor consultation, one letter of objection was received. The main points of this letter have been summarised and addressed below:
265. Objection: The proposed development and range of uses being proposed would result in noise, nuisance and anti-social behaviour. This would include noise from the proposed uses, noise from collections/deliveries, disturbance and nuisance from smokers and disturbance from the new route onto Ewer Street which should be gated in the evenings.
Response: The proposed development and range of uses is not anticipated to cause any detrimental disturbance or nuisance to adjacent residential properties. Deliveries and servicing would be controlled via Service Management Plan and the commercial units at ground floor as well as the office terraces would have their hours of use controlled by condition. The provision of a gate restricting access to the new public route is not supported however this route is not considered to be a threat to amenity as it simply links to Lavington Street through the new public realm.

Community impact and equalities assessment

266. The Council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights
267. The Council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application.
268. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three "needs" which are central to the aims of the Act:
1. The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
 2. The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
 - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
 - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
 - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low
 3. The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to tackle prejudice and promote understanding.
269. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.

Human rights implications

270. This planning application engages certain human rights under the Human Rights Act 2008 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.
271. This application has the legitimate aim of providing new offices, retail opportunities and cultural space alongside a new and enhanced public realm. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

Positive and proactive statement

272. The Council has published its development plan and Core Strategy on its website together with advice about how applications are considered and the information that needs to be submitted to ensure timely consideration of an application. Applicants are advised that planning law requires applications to be determined in accordance with the development plan unless material considerations indicate otherwise.
273. The Council provides a pre-application advice service that is available to all applicants in order to assist applicants in formulating proposals that are in accordance with the development plan and core strategy and submissions that are in accordance with the application requirements.

Positive and proactive engagement: summary table

| | |
|--|-----|
| Was the pre-application service used for this application? | YES |
| If the pre-application service was used for this application, was the advice given followed? | YES |
| Was the application validated promptly? | YES |
| If necessary/appropriate, did the case officer seek amendments to the scheme to improve its prospects of achieving approval? | YES |
| To help secure a timely decision, did the case officer submit their recommendation in advance of the agreed Planning Performance Agreement date? | YES |

Other matters

274. None identified.

CONCLUSION

275. The principle of redeveloping this site for a large scale development including tall buildings was accepted in the previous committee resolution and continues to be acceptable under the current application. Redevelopment of the site to provide new retail, leisure space and a significant uplift in high quality, modern office space is welcomed and the improved connectivity and public realm will be beneficial to the local area and contribute to the wider low line project. The range of uses being proposed is in line with development plan policy aspirations to improve the area and maximise the number of jobs.
276. The currently underdeveloped site would be capable of providing a substantial uplift in office and employment floorspace and could provide up to 3,380 jobs through maximising the development potential of the site. The provision of affordable workspace on site would meet the requirements of emerging New Southwark Plan and ItP London Plan policies and is an added benefit of the scheme.
277. The provision of new retail opportunities will provide appropriate shops and

services for the uplift in workers and visitors to the area and aligns with policy requirements. The site is located within a Strategic Cultural Area and as such the provision of a Class D2 space is fully supported.

278. The surrounding townscape is varied, with lower rise buildings on Lavington Street and much taller buildings completed and consented to the north on Southwark Street, and to the north east at the junction of Blackfriars Road and Stamford Street. There are also tall buildings much closer to the application site including the student housing scheme on the adjacent site on Great Suffolk Street and Isis House at the western end of Lavington Street. The proposed development would therefore contextualise with the surrounding local and wider townscape, providing buildings of scale that successfully integrate with the surrounding context and contribute to the high quality townscape of the area without compromising surrounding amenity or important views.
279. The public realm improvements with the creation of a new route between Lavington Street and Ewer Street and a new central public space would result in much improved permeability and connectivity in the area and would provide key linkages to other adjacent development sites such as the railway arches, the low line and the wider Network Rail site to the south. The proposal would provide an extensive improvement to the streetscape together with new active frontages which would improve the experience for pedestrians, and provide for natural surveillance. The new public spaces are a particular benefit of this development.
280. It is acknowledged that there would be some minor and limited impacts on nearby residents in terms of daylight and sunlight however these are considered to be acceptable and would not detrimentally harm the amenity of the occupiers. The proposed impacts are in line with those typically seen in dense urban environments and would be acceptable taking into account the local context and the flexible application of the BRE guidelines in the central London location
281. In terms of energy and sustainability the development would meet current policy with regards to reducing carbon emissions. Additionally, as the development incorporates the partial retention of one of the buildings on site, waste would be minimised and the embodied carbon footprint significantly reduced. In terms of the new build elements of the proposed development, priority has been given to materials with low embodied carbon such as sustainably sourced cross laminated timber (CLT). The overall approach to carbon reduction and sustainability is positive.
282. The impacts identified in the application documents and through Officer assessment have been taken into account and should be considered in determining the application. No impacts of a significant scale have been identified which are not capable of being mitigated through detailed design, through conditions, or through provisions in the s106 agreement.
283. It is therefore recommended that planning permission be granted, subject to conditions, the completion of a S106 Agreement and referral to the Mayor of London.

BACKGROUND INFORMATION**BACKGROUND DOCUMENTS**

| Background Papers | Held At | Contact |
|--|--|--|
| Southwark Local Development Framework and Development Plan Documents | Chief Executive's Department 160 Tooley Street London SE1 2QH | Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 0254 Council website: www.southwark.gov.uk |

APPENDICES

| No. | Title |
|------------|---------------------------------|
| Appendix 1 | Consultation undertaken |
| Appendix 2 | Consultation responses received |
| Appendix 3 | Relevant planning history |
| Appendix 4 | Recommendation |

AUDIT TRAIL

| | | |
|---|-----------------------------------|--------------------------|
| Lead Officer | Simon Bevan, Director of Planning | |
| Report Author | Terence McLellan, Team Leader | |
| Version | Final | |
| Dated | 10 November 2020 | |
| Key Decision | No | |
| CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER | | |
| Officer Title | Comments Sought | Comments included |
| Strategic Director of Finance and Governance | No | No |
| Strategic Director of Environment and Leisure | No | No |
| Strategic Director of Housing and Modernisation | No | No |
| Director of Regeneration | No | No |
| Date final report sent to Constitutional Team | | 13 November 2020 |

Consultation undertaken

Site notice date:

Press notice date: 07/05/2020

Case officer site visit date: N/A

Neighbour consultation letters sent: 12/05/2020

Internal services consulted

Design and Conservation Team [Formal]

Transport Policy

Archaeology

Local Economy

Ecology

Highways Development and Management

Highways Licensing

Flood Risk Management & Urban Drainage

Urban Forester

Waste Management

Statutory and non-statutory organisations

Environment Agency
 Great London Authority
 Historic England
 London Fire & Emergency Planning Authority
 London Underground
 Natural England - London & South East Region
 Network Rail
 Metropolitan Police Service (Designing Out Crime)
 Transport for London
 Thames Water

Neighbour and local groups consulted:

| | |
|---|--|
| Unit 2 88 Union Street London | Unit 435 Metal Box Factory Business Centre 30 Great Guildford Street |
| 901 Block D 5 Sumner Street London | Unit 522 Metal Box Factory Business Centre 30 Great Guildford Street |
| 604 Block D 5 Sumner Street London | 142A Southwark Street London Southwark |
| 506 Block D 5 Sumner Street London | Unit 229 Great Guildford Business Square 30 Great Guildford Street |
| Blue Fin Building 110 Southwark Street | Flat 70 17 Great Suffolk Street London |
| Flat 2 31 Dolben Street London | 8 Chancel Street London Southwark |
| Flat B 162 Union Street London | Unit 325 Metal Box Factory Business Centre 30 Great Guildford Street |
| Flat 148 17 Great Suffolk Street London | Telephone Kiosk At 98 Southwark Street London |
| Flat 145 17 Great Suffolk Street London | 407 Block D 5 Sumner Street London |
| Flat 142 17 Great Suffolk Street London | Ground Floor West 182-194 Union Street London |
| Flat 111 17 Great Suffolk Street London | Flat 85 17 Great Suffolk Street London |
| Railway Arch 7 Chancel Street London | |
| 18 Hoptons Gardens Hopton Street London | |
| 12 Hoptons Gardens Hopton Street London | |
| Lavington House 25 Lavington Street | |

Units 331 To Unit 333 16-48 Great Guildford Street London

17 Hoptons Gardens Hopton Street London

Unit 16 100 Southwark Street London

90-100 Southwark Street London

Studio 62 51 Ewer Street London

Studio 42 51 Ewer Street London

Studio 10 51 Ewer Street London

16 Sumner Street London Southwark

Units 227 And 228 16-48 Great Guildford Street London

Units 207 And 208 16-48 Great Guildford Street London

Unit 201 16-48 Great Guildford Street London

Flat 1 45 Dolben Street London

Unit 15 Ground Floor 5-11 Lavington Street London

Unit 6 Ground Floor 5-11 Lavington Street London

Unit 1 First Floor 5-11 Lavington Street London

Unit 402 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 228 Great Guildford Business Square 30 Great Guildford Street

Unit 428 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 423 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 509 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 323 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 320 Great Guildford Business Square 30 Great Guildford Street

Railway Arch 61 Ewer Street London

Unit 3 To 4 Ground Floor Europoint House 5 Lavington Street

Ground Floor The Harlequin Building 65 Southwark Street

162 Union Street London Southwark

99 Southwark Street London Southwark

144A Union Street London Southwark

5 Rotherham Walk London Southwark

Flat A Christchurch House 4 Chancel Street

3 Brinton Walk London Southwark

1 Brinton Walk London Southwark

Studio 115 51 Ewer Street London

Studio 102 51 Ewer Street London

Studio 90 51 Ewer Street London

Studio 41 51 Ewer Street London

Fourth Floor 128 Southwark Street London

Apartment 9 Braque Building 86 Ewer Street

124 Southwark Street London Southwark

Apartment 28 Rosler Building 85 Ewer Street

Flat 76 17 Great Suffolk Street London

Unit 304 To 305 Union Print Business Centre 164 - 180 Union Street

Union Print Business Centre 164 - 180 Union Street

Unit B7 Union Print Business Centre 164 - 180 Union Street

Second Floor 99 Southwark Street London

Basement Front 95 Southwark Street
London

90-100 Southwark Street London
Southwark

Part Second Floor Third Floor And
Fourth 5-11 Lavington Street London

Unit 10 16-48 Great Guildford Street
London

Blue Fin Building 110 Southwark Street
London

Fifth Floor To Eleventh Floor Blue Fin
Building 110 Southwark Street

Ground Floor 95 Southwark Street
London

Part Basement Rooms B1 To B2 16-48
Great Guildford Street London

Fourth Floor Middle Crane Building 22
Lavington Street

Autotrip Ltd Lavington House 25
Lavington Street

Rodeng Consulting Llp Metal Box
Factory 30 Great Guildford Street

Unit 301 Union Print Business Centre
164 - 180 Union Street

Unit G2 Union Print Business Centre 164
- 180 Union Street

Studio 412 Union Print Business Centre
164 - 180 Union Street

Unit 201 Union Print Business Centre
164 - 180 Union Street

Unit 1 Great Guildford Business Square
30 Great Guildford Street

10 Friars Close Bear Lane London

Flat 30 Edward Edwards House
Nicholson Street

Flat 8 Holmwood Buildings 97A
Southwark Street

Unit 223 Metal Box Factory Business
Centre 30 Great Guildford Street

Studio 96 51 Ewer Street London

Studio 57 51 Ewer Street London

Studio 35 51 Ewer Street London

Studio 32 51 Ewer Street London

Studio 131 51 Ewer Street London

Part Second Floor South Europoint
House 5 Lavington Street

Apartment 20 Braque Building 86 Ewer
Street

Apartment 12 Braque Building 86 Ewer
Street

Apartment 7 Braque Building 86 Ewer
Street

Apartment 35 Rosler Building 85 Ewer
Street

Apartment 23 Rosler Building 85 Ewer
Street

Apartment 18 Rosler Building 85 Ewer
Street

Apartment 5 Rosler Building 85 Ewer
Street

Braque Building 86 Ewer Street London

Apartment 1 Ernst Building 142 Union
Street

Railway Arch 13 Chancel Street London

Railway Arches 69 And 70 Ewer Street
London

Flat 96 17 Great Suffolk Street London

Flat 93 17 Great Suffolk Street London

Flat 171 17 Great Suffolk Street London

Flat 163 17 Great Suffolk Street London

Flat 157 17 Great Suffolk Street London

Flat 62 17 Great Suffolk Street London

Flat 59 17 Great Suffolk Street London
 Flat 48 17 Great Suffolk Street London
 Donovan Data Systems Blue Fin
 Building 110 Southwark Street
 Flat 33 17 Great Suffolk Street London
 Flat 24 17 Great Suffolk Street London
 Flat 16 17 Great Suffolk Street London
 Flat 118 17 Great Suffolk Street London
 602 Block D 5 Sumner Street London
 Basement Centre 95 Southwark Street
 London
 Flat 1 31 Dolben Street London
 Units 7 To 10 Ground Floor 5-11
 Lavington Street London
 Ground Floor Right 128 Southwark
 Street London
 First Floor 91-93 Southwark Street
 London
 Third Floor Flat 132 Southwark Street
 London
 Unit 305 16-48 Great Guildford Street
 London
 Unit 330 16-48 Great Guildford Street
 London
 Unit 220 Metal Box Factory Business
 Centre 30 Great Guildford Street
 Units 105 And 106 16-48 Great Guildford
 Street London
 Railway Arch 65 Ewer Street London
 45 Dolben Street London Southwark
 Flat 151 17 Great Suffolk Street London
 Units 317 To 320 16-48 Great Guildford
 Street London
 Flat 18 17 Great Suffolk Street London
 Flat 13 17 Great Suffolk Street London
 405 Block D 5 Sumner Street London
 First Floor Great Guildford Business
 Square 30 Great Guildford Street
 Ground Floor Left 128 Southwark Street
 London
 Street Record Lavington Street London
 Flat 58 18 Great Suffolk Street London
 Flat 38 18 Great Suffolk Street London
 Flat 25 5B Bear Lane London
 Unit 405 16-48 Great Guildford Street
 London
 Unit 6 First Floor Front 5-11 Lavington
 Street London
 Ground Floor Centre 128 Southwark
 Street London
 Railway Arch 10 Treveris Street London
 First Floor 81 Southwark Street London
 Unit 306 16-48 Great Guildford Street
 London
 34-40A Bear Lane London Southwark
 Unit 16 Ground Floor 5-11 Lavington
 Street London
 Unit 6 Lower Ground 5-11 Lavington
 Street London
 Flat 2 45 Dolben Street London
 16 Hoptons Gardens Hopton Street
 London
 148 Union Street London Southwark
 14 Great Suffolk Street London
 Southwark
 Flat 37 Edward Edwards House
 Nicholson Street
 Flat 18 Edward Edwards House
 Nicholson Street
 5 Friars Close Bear Lane London

2 Friars Close Bear Lane London
 15 Friars Close Bear Lane London
 12 Friars Close Bear Lane London
 30 Great Suffolk Street London Southwark
 13 Bear Lane London Southwark
 12 Gambia Street London Southwark
 30 Dolben Street London Southwark
 152B Union Street London Southwark
 148B Union Street London Southwark
 Flat 13 Holmwood Buildings 97 Southwark Street
 Fourth Floor 81 Southwark Street London
 Basement The Harlequin Building 65 Southwark Street
 Arch 49 Wardens Grove London
 Unit 515 Metal Box Factory Business Centre 30 Great Guildford Street
 First Floor 182-194 Union Street London
 15A Great Suffolk Street London Southwark
 Flat 11 1 Treveris Street London
 Studio 149 51 Ewer Street London
 Studio 146 51 Ewer Street London
 Studio 123 51 Ewer Street London
 Studio 107 51 Ewer Street London
 Studio 101 51 Ewer Street London
 Studio 91 51 Ewer Street London
 Unit B11 Union Print Business Centre 164 - 180 Union Street
 Unit 212 Second Floor Union Print Business Centre 164 - 180 Union Street
 Union Print Business Centre 164 - 180 Union Street London
 Second Floor 182-194 Union Street London
 156 Union Street London Southwark
 Fourth Floor Flat 132 Southwark Street London
 801 Block D 5 Sumner Street London
 Unit 7 And Unit 7A Great Guildford Business Square 30 Great Guildford Street
 Flat 6 28 Great Suffolk Street London
 2 Brinton Walk London Southwark
 Flat 39 17 Great Suffolk Street London
 6 Canvey Street London Southwark
 Studio 30 51 Ewer Street London
 Unit 313 16-48 Great Guildford Street London
 Unit 204 Great Guildford Business Square 30 Great Guildford Street
 Flat 15 Edward Edwards House Nicholson Street
 Flat 617 Bankside House 24 Sumner Street
 Studio 105 51 Ewer Street London
 Studio 48 51 Ewer Street London
 Studio 120 51 Ewer Street London
 Studio 25 51 Ewer Street London
 Microcell 77581 Lavington House 25 Lavington Street
 Ninth Floor Bankside 3 90-100 Southwark Street London
 Flat 5 Holmwood Buildings 97 Southwark Street
 Flat 87 18 Great Suffolk Street London

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|--|--|
| Flat 100 17 Great Suffolk Street London | Part Fifth Floor Blue Fin Building 110 Southwark Street |
| Flat 64 17 Great Suffolk Street London | Studio 145 51 Ewer Street London |
| 27A Great Suffolk Street London Southwark | Studio 142 51 Ewer Street London |
| 1001 Block D 5 Sumner Street London | Studio 127 51 Ewer Street London |
| Flat 2 5B Bear Lane London | Studio 121 51 Ewer Street London |
| Part Basement Front 42-44 Dolben Street London | Studio 104 51 Ewer Street London |
| 83 Southwark Street London Southwark | Studio 95 51 Ewer Street London |
| 3 Burrell Street London Southwark | Studio 39 51 Ewer Street London |
| Roof Top 98140 Bankside House 24 Sumner Street | Studio 4 51 Ewer Street London |
| Basement West Lavington House 25 Lavington Street | Studio 1 51 Ewer Street London |
| 20 Hoptons Gardens Hopton Street London | Apartment 14 Braque Building 86 Ewer Street |
| 158 Union Street London Southwark | Ground Floor Left Hand Side The Harlequin Building 65 Southwark Street |
| 22 Friars Close Bear Lane London | Apartment 32 Rosler Building 85 Ewer Street |
| 1 Friars Close Bear Lane London | Apartment 31 Rosler Building 85 Ewer Street |
| Third Floor 100-142 Union Street London | Apartment 22 Rosler Building 85 Ewer Street |
| 138-140 Southwark Street London Southwark | Rosler Building 85 Ewer Street London |
| 7 Burrell Street London Southwark | Flat 85 18 Great Suffolk Street London |
| Flat 16 Holmwood Buildings 97A Southwark Street | Flat 83 18 Great Suffolk Street London |
| 705 Block D 5 Sumner Street London | Flat 71 18 Great Suffolk Street London |
| Second Floor 136 Southwark Street London | Flat 66 18 Great Suffolk Street London |
| Unit 315 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 106 17 Great Suffolk Street London |
| Fifth Floor Crane Building 22 Lavington Street | Flat 92 17 Great Suffolk Street London |
| First Floor West The Harlequin Building 65 Southwark Street | Flat 84 17 Great Suffolk Street London |
| | Flat 63 17 Great Suffolk Street London |
| | Flat 60 17 Great Suffolk Street London |
| | Flat 43 17 Great Suffolk Street London |
| | Flat 40 17 Great Suffolk Street London |

| | |
|--|--|
| Flat 25 17 Great Suffolk Street London | Flat 36 17 Great Suffolk Street London |
| Flat 5 17 Great Suffolk Street London | Flat 15 17 Great Suffolk Street London |
| Flat 10 88 Union Street London | Flat 14 5B Bear Lane London |
| Flat 24 5B Bear Lane London | Flat 5 5B Bear Lane London |
| Flat 21 5B Bear Lane London | 606 Block D 5 Sumner Street London |
| Flat 8 5B Bear Lane London | 601 Block D 5 Sumner Street London |
| 803 Block D 5 Sumner Street London | 304 Block D 5 Sumner Street London |
| 401 Block D 5 Sumner Street London | 101 Block D 5 Sumner Street London |
| 5-13 Great Suffolk Street London Southwark | Flat 158 17 Great Suffolk Street London |
| Flat 169 17 Great Suffolk Street London | Flat 122 17 Great Suffolk Street London |
| Flat 136 17 Great Suffolk Street London | Basement Rear 95 Southwark Street London |
| Studio 76 51 Ewer Street London | Unit 03 16-48 Great Guildford Street London |
| Studio 51 51 Ewer Street London | 100A Southwark Street London Southwark |
| Studio 44 51 Ewer Street London | Roof Top Se0002 Bankside House 24 Sumner Street |
| Studio 19 51 Ewer Street London | Unit 7 First Floor 5-11 Lavington Street London |
| Studio 16 51 Ewer Street London | Street Record Ewer Street London |
| Apartment 23 Braque Building 86 Ewer Street | Railway Arches 16 South End And 19 To 22 Ewer Street London |
| Apartment 46 Rosler Building 85 Ewer Street | Flat 128 17 Great Suffolk Street London |
| Apartment 9 Rosler Building 85 Ewer Street | Flat 120 17 Great Suffolk Street London |
| Apartment 6 Rosler Building 85 Ewer Street | Flat 117 17 Great Suffolk Street London |
| 83 Ewer Street London Southwark | Second Floor East Wing Blue Fin Building 110 Southwark Street |
| Flat 82 18 Great Suffolk Street London | Ground Floor 42-44 Dolben Street London |
| Flat 73 18 Great Suffolk Street London | Fourth Floor 95 Southwark Street London |
| Flat 62 18 Great Suffolk Street London | First Floor 95 Southwark Street London |
| Flat 59 18 Great Suffolk Street London | Second Floor 91-93 Southwark Street London |
| Flat 52 18 Great Suffolk Street London | |
| Flat 46 18 Great Suffolk Street London | |
| Flat 88 17 Great Suffolk Street London | |

85 Southwark Street London Southwark
Car Park Space 58 16-48 Great Guildford Street London

Part Basement Room B6 16-48 Great Guildford Street London

Part Basement Room B4 16-48 Great Guildford Street London

Sustainable Bankside li Lavington House 25 Lavington Street

Unit B1 Union Print Business Centre 164 - 180 Union Street

Unit B4 Union Print Business Centre 164 - 180 Union Street

Units 401 To 410 Union Print Business Centre 164 - 180 Union Street

Unit 108 Union Print Business Centre 164 - 180 Union Street

Unit B9 Union Print Business Centre 164 - 180 Union Street

Unit 203 Second Floor Union Print Business Centre 164 - 180 Union Street

Unit 107 Union Print Business Centre 164 - 180 Union Street

Unit 309 And Unit 310 Great Guildford Business Square 30 Great Guildford Street

605 Block D 5 Sumner Street London

Arches 3A And 3D Burrell Street London

Unit 322 Great Guildford Business Square 30 Great Guildford Street

Fourth Floor 91-93 Southwark Street London

Flat 78 18 Great Suffolk Street London

First Floor 42-44 Dolben Street London

4 Rotherham Walk London Southwark

Flat 153 17 Great Suffolk Street London

Unit 406 Great Guildford Business Square 30 Great Guildford Street

Studio 97 51 Ewer Street London

Apartment 5 Ernst Building 142 Union Street

Unit 430 Metal Box Factory Business Centre 30 Great Guildford Street

Basement And Ground 91-93 Southwark Street London

134 Southwark Street London Southwark

3 Friars Close Bear Lane London

Flat 3 88 Union Street London

Flat 135 17 Great Suffolk Street London

Apartment 13 Rosler Building 85 Ewer Street

Unit 4 Ground Floor 5-11 Lavington Street London

Apartment 39 Rosler Building 85 Ewer Street

Railway Arch 9 Chancel Street London

Flat 81 17 Great Suffolk Street London

Flat 36 18 Great Suffolk Street London

Basement Store East Rear 128 Southwark Street London

Flat 26 17 Great Suffolk Street London

Flat 1 28 Great Suffolk Street London

Units 315 And 316 16-48 Great Guildford Street London

Unit 101 Metal Box Factory Business Centre 30 Great Guildford Street

Part Basement And Part Ground Floor Christchurch House 4 Chancel Street

Flat 816 Bankside House 24 Sumner Street

Hall And Partners 90-100 Southwark Street London

Fourth Floor Crane Building 22
Lavington Street

Flat 3 160 Union Street London

36 Bear Lane London Southwark

Unit 524 Metal Box Factory Business
Centre 30 Great Guildford Street

5-7 Bear Lane London Southwark

Flat 5 28 Great Suffolk Street London

Fifth And Sixth Floor The Harlequin
Building 65 Southwark Street

24 Friars Close Bear Lane London

Flat 15 Holmwood Buildings 97A
Southwark Street

Flat 10 Holmwood Buildings 97
Southwark Street

142 Southwark Street London Southwark

Unit G03 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 335 Metal Box Factory Business
Centre 30 Great Guildford Street

Meeting Room Metal Box Factory
Business Centre 30 Great Guildford
Street

Studio 118 51 Ewer Street London

Studio 84 51 Ewer Street London

Studio 72 51 Ewer Street London

Studio 66 51 Ewer Street London

Studio 63 51 Ewer Street London

Studio 38 51 Ewer Street London

Studio 20 51 Ewer Street London

Studio 2 51 Ewer Street London

Studio 128 51 Ewer Street London

Studio 122 51 Ewer Street London

Apartment 51 Rosler Building 85 Ewer
Street

Apartment 45 Rosler Building 85 Ewer
Street

Apartment 43 Rosler Building 85 Ewer
Street

88 Union Street London Southwark

Fourth Floor Front Crane Building 22
Lavington Street

Austin Consultants Ltd Lavington House
25 Lavington Street

People Blueprint Ltd Metal Box Factory
30 Great Guildford Street

Unit 310 Union Print Business Centre
164 - 180 Union Street

Ground Floor Cafe Union Print Business
Centre 164 - 180 Union Street

Unit 110 Union Print Business Centre
164 - 180 Union Street

Unit 402 Union Print Business Centre
164 - 180 Union Street

Unit B2 Union Print Business Centre 164
- 180 Union Street

Second Floor 138-140 Southwark Street
London

Flat 174 17 Great Suffolk Street London

18 Great Suffolk Street London
Southwark

403 Block D 5 Sumner Street London

102 Block D 5 Sumner Street London

Apartment 36 Rosler Building 85 Ewer
Street

Flat 52 17 Great Suffolk Street London

Flat 28 18 Great Suffolk Street London

Street Record Dolben Street London

Unit 232 Great Guildford Business
Square 30 Great Guildford Street

Part A Fourth Floor 5-13 Great Suffolk Street London

81 Southwark Street London Southwark

Flat 35 17 Great Suffolk Street London

Part Basement And Ground Floor 89 Southwark Street London

Flat 125 17 Great Suffolk Street London

Unit 307 16-48 Great Guildford Street London

Units 129 To 131 16-48 Great Guildford Street London

Flat 102 17 Great Suffolk Street London

Flat 90 17 Great Suffolk Street London

Flat 149 17 Great Suffolk Street London

305 Block D 5 Sumner Street London

Eleventh Floor West Wing Blue Fin Building 110 Southwark Street

Advertising Right Bus Shelter 01280023 Opposite 69 Southwark Street London

Advertising Right Outside 75 To 79 Southwark Street London

Flat C 162 Union Street London

Blue Fin Building 110 Southwark Street

Unit 217 Great Guildford Business Square 30 Great Guildford Street

Flat 61 18 Great Suffolk Street London

Flat 30 18 Great Suffolk Street London

Second Floor Excluding East Wing Blue Fin Building 110 Southwark Street

Flat 19 5B Bear Lane London

Railway Arch 4 Burrell Street London

Railway Arches 58 And 59 Ewer Street London

Mar I Terra Public House 14 Gambia Street London

Block B Part Ground Floor 182-194 Union Street London

Flat 817 Bankside House 24 Sumner Street

Unit 324 Metal Box Factory Business Centre 30 Great Guildford Street

Units 232 To 234 16-48 Great Guildford Street London

Car Park Space 55 16-48 Great Guildford Street London

Car Park Space 44 16-48 Great Guildford Street London

7 Bear Lane London Southwark

Unit 5 First Floor 5-11 Lavington Street London

Unit 1 Ground Floor 5-11 Lavington Street London

21 Hoptons Gardens Hopton Street London

19 Hoptons Gardens Hopton Street London

87 Southwark Bridge Road London Southwark

31 Dolben Street London Southwark

Flat C Christchurch House 4 Chancel Street

Flat 31 Edward Edwards House Nicholson Street

3 Rotherham Walk London Southwark

95 Southwark Street London Southwark

20 Great Suffolk Street London Southwark

91-93 Southwark Street London Southwark

Unit 230 Great Guildford Business Square 30 Great Guildford Street

113 Southwark Street London Southwark

| | |
|---|---|
| 148A Union Street London Southwark | Studio 114 51 Ewer Street London |
| Flat 1 Holmwood Buildings 97 Southwark Street | Studio 23 51 Ewer Street London |
| Fifth Floor 81 Southwark Street London | Studio 8 51 Ewer Street London |
| 706 Block D 5 Sumner Street London | Studio 147 51 Ewer Street London |
| First Floor Flat 134 Southwark Street London | Studio 137 51 Ewer Street London |
| Unit 421 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 9 1 Treveris Street London |
| Unit 120 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 6 1 Treveris Street London |
| Units 328 And 329 Metal Box Factory Business Centre 30 Great Guildford Street | 1 Treveris Street London Southwark |
| Flat 807 Bankside House 24 Sumner Street | Apartment 40 Rosler Building 85 Ewer Street |
| Third Floor North Wigglesworth House 69 Southwark Bridge Road | Apartment 38 Rosler Building 85 Ewer Street |
| Arch 46 Wardens Grove London | Apartment 33 Rosler Building 85 Ewer Street |
| 806 Block D 5 Sumner Street London | Apartment 4 Ernst Building 142 Union Street |
| Unit 1 Grande Vitesse Industrial Centre 38 Great Suffolk Street | Unit 04 16-48 Great Guildford Street London |
| Third Floor 136 Southwark Street London | Flat 160 17 Great Suffolk Street London |
| Unit 319 Metal Box Factory Business Centre 30 Great Guildford Street | Units 102 To 104 16-48 Great Guildford Street London |
| Flat 2 28 Great Suffolk Street London | Part Basement Room B7 16-48 Great Guildford Street London |
| 150 Union Street London Southwark | Part Basement Room B3 16-48 Great Guildford Street London |
| 13 Friars Close Bear Lane London | Flat 30 17 Great Suffolk Street London |
| Flat 10 Edward Edwards House Nicholson Street | Flat 27 17 Great Suffolk Street London |
| Flat D Christchurch House 4 Chancel Street | Flat 21 17 Great Suffolk Street London |
| Excluding First Part Second Fourth Eleventh West And South Twelfth And Second East Blue Fin Building 110 Southwark Street | Block D 5 Sumner Street London |
| | Flat 70 18 Great Suffolk Street London |
| | Flat 67 18 Great Suffolk Street London |
| | Flat 64 18 Great Suffolk Street London |
| | Flat 44 18 Great Suffolk Street London |

20 Great Guildford Street London
Southwark

West Wing Lavington House 25
Lavington Street

92 Southwark Street London Southwark

89 Southwark Bridge Road London
Southwark

Holmwood Buildings 97-97A Southwark
Street London

Flat 818 Bankside House 24 Sumner
Street

Unit 209 To Unit 211 Metal Box Factory
Business Centre 30 Great Guildford
Street

Railway Arch 60 Ewer Street London

Part Basement Ground Floor First Floor
And Second Floor 6 Chancel Street
London

Unit 5 Lower Ground 5-11 Lavington
Street London

Units 1 To 2 Lower Ground 5-11
Lavington Street London

Railway Arches 6 Burrell Street London

22 Great Suffolk Street London
Southwark

115 Southwark Street London Southwark

Flat E Christchurch House 4 Chancel
Street

26 Friars Close Bear Lane London

Europoint House 5 Lavington Street
London

6 Burrell Street London Southwark

132 Southwark Street London Southwark

111 Southwark Street London Southwark

Flat 3 Holmwood Buildings 97A
Southwark Street

Arch 47 Wardens Grove London

Flat 80A 18 Great Suffolk Street London

905 Block D 5 Sumner Street London

Flat 3 28 Great Suffolk Street London

Ground Floor Block D 5 Sumner Street

805 Block D 5 Sumner Street London

4-5 Burrell Street London Southwark

Unit 415 Metal Box Factory Business
Centre 30 Great Guildford Street

Rapp Uk Ltd 90-100 Southwark Street
London

Third Floor Crane Building 22 Lavington
Street

Unit 432 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 534 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 508 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 507 Metal Box Factory Business
Centre 30 Great Guildford Street

Ground Floor 99 Southwark Street
London

Units 1 And 2 1 Treveris Street London

Studio 136 51 Ewer Street London

Studio 86 51 Ewer Street London

Studio 80 51 Ewer Street London

Studio 52 51 Ewer Street London

Studio 43 51 Ewer Street London

Studio 24 51 Ewer Street London

Apartment 19 Braque Building 86 Ewer
Street

Apartment 16 Braque Building 86 Ewer
Street

Apartment 10 Braque Building 86 Ewer Street

Apartment 50 Rosler Building 85 Ewer Street

Apartment 12 Rosler Building 85 Ewer Street

Apartment 7 Rosler Building 85 Ewer Street

Apartment 2 Ernst Building 142 Union Street

Flat 57 18 Great Suffolk Street London

Flat 43 18 Great Suffolk Street London

Flat 98 17 Great Suffolk Street London

Flat 94 17 Great Suffolk Street London

Flat 86 17 Great Suffolk Street London

Flat 75 17 Great Suffolk Street London

Flat 37 17 Great Suffolk Street London

Flat 34 17 Great Suffolk Street London

Unit 422 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 503 Metal Box Factory Business Centre 30 Great Guildford Street

Flat 10 1 Treveris Street London

Flat 4 1 Treveris Street London

Studio 130 51 Ewer Street London

Studio 110 51 Ewer Street London

Studio 73 51 Ewer Street London

Studio 64 51 Ewer Street London

Studio 61 51 Ewer Street London

Studio 58 51 Ewer Street London

Studio 56 51 Ewer Street London

Studio 46 51 Ewer Street London

Studio 40 51 Ewer Street London

Studio 15 51 Ewer Street London

Studio 9 51 Ewer Street London

Studio 3 51 Ewer Street London

Apartment 18 Braque Building 86 Ewer Street

Apartment 4 Rosler Building 85 Ewer Street

Flat 80 18 Great Suffolk Street London

Flat 108 17 Great Suffolk Street London

Flat 77 17 Great Suffolk Street London

Flat 74 17 Great Suffolk Street London

Flat 72 17 Great Suffolk Street London

Flat 58 17 Great Suffolk Street London

Flat 50 17 Great Suffolk Street London

Flat 49 17 Great Suffolk Street London

Flat 44 17 Great Suffolk Street London

Flat 34 18 Great Suffolk Street London

Flat 23 17 Great Suffolk Street London

Flat 14 17 Great Suffolk Street London

Flat 7 88 Union Street London

Flat 5 88 Union Street London

5A Bear Lane London Southwark

Flat 5 31 Dolben Street London

Ground Floor And First Floor 136 Southwark Street London

Part B Fourth Floor 5-13 Great Suffolk Street London

Flat 167 17 Great Suffolk Street London

Flat 164 17 Great Suffolk Street London

Flat 150 17 Great Suffolk Street London

Flat 131 17 Great Suffolk Street London

Flat 116 17 Great Suffolk Street London

Living Accommodation 22 Great Suffolk Street London

Third Floor 138-140 Southwark Street London

Part Arch 5 And Arches 6 To 6B Burrell Street London

Flat 6 17 Great Suffolk Street London

Flat 13 5B Bear Lane London

Flat 11 5B Bear Lane London

701 Block D 5 Sumner Street London

504 Block D 5 Sumner Street London

501 Block D 5 Sumner Street London

406 Block D 5 Sumner Street London

404 Block D 5 Sumner Street London

306 Block D 5 Sumner Street London

301 Block D 5 Sumner Street London

204 Block D 5 Sumner Street London

Flat 3 31 Dolben Street London

Flat 166 17 Great Suffolk Street London

Flat 161 17 Great Suffolk Street London

Flat 159 17 Great Suffolk Street London

Basement And Ground Floor Great Guildford Business Square 30 Great Guildford Street

5 Canvey Street London Southwark

Street Record Treveris Street London

Street Record Prices Street London

Railway Arch 12 Chancel Street London

Unit 409 16-48 Great Guildford Street London

Units 8 And 9 Lower Ground 5-11 Lavington Street London

Unit 311 Union Print Business Centre 164 - 180 Union Street

Units 301 And 302 Union Print Business Centre 164 - 180 Union Street

Unit 109 Union Print Business Centre 164 - 180 Union Street

Unit G8 Union Print Business Centre 164 - 180 Union Street

Unit 211 Second Floor Union Print Business Centre 164 - 180 Union Street

Unit 208 Second Floor Union Print Business Centre 164 - 180 Union Street

Unit 207 Second Floor Union Print Business Centre 164 - 180 Union Street

Unit 5 Ground Floor 5-11 Lavington Street London

Units 402 To 403 16-48 Great Guildford Street London

Part Basement 128 Southwark Street London

Cigar Box Meeting Room Metal Box Factory Business Centre 30 Great Guildford Street

Unit A Blue Fin Building 110 Southwark Street

Apartment 5 Braque Building 86 Ewer Street

Flat 82 17 Great Suffolk Street London

Flat 4 17 Great Suffolk Street London

Flat 132 17 Great Suffolk Street London

144B Union Street London Southwark

The Charles Dickens 160 Union Street London

4 Friars Close Bear Lane London

904 Block D 5 Sumner Street London

Flat 20 5B Bear Lane London

Third Floor 95 Southwark Street London

Flat 172 17 Great Suffolk Street London

Flat 114 17 Great Suffolk Street London
 20 Sumner Street London Southwark
 Studio 79 51 Ewer Street London
 14 Sumner Street London Southwark
 22 Great Guildford Street London Southwark
 18 Great Guildford Street London Southwark
 12 Sumner Street London Southwark
 Fourth Floor Blue Fin Building 110 Southwark Street
 Unit 231 Metal Box Factory 2 30 Great Guildford Street
 Unit 11 And 12 First Floor 5-11 Lavington Street London
 Units 122 To 124 16-48 Great Guildford Street London
 Second Floor And Third Floor 42-44 Dolben Street London
 London Travelwatch 5 - 11 Lavington Street London
 Language Services Direct 81 Southwark Street London
 The Fire Surgery Ltd Metal Box Factory 30 Great Guildford Street
 Outset Studio Metal Box Factory 30 Great Guildford Street
 Unit 303 Union Print Business Centre 164 - 180 Union Street
 Unit 112 Union Print Business Centre 164 - 180 Union Street
 Unit 111 Union Print Business Centre 164 - 180 Union Street
 Unit 508 Union Print Business Centre 164 - 180 Union Street
 Unit G3 Union Print Business Centre 164 - 180 Union Street

Unit 202 Union Print Business Centre 164 - 180 Union Street
 Unit 306 Union Print Business Centre 164 - 180 Union Street
 Unit 210 Second Floor Union Print Business Centre 164 - 180 Union Street
 144 Union Street London Southwark
 Unit 109 To Unit120 16-48 Great Guildford Street London
 Apartment 15 Rosler Building 85 Ewer Street
 Flat 27 18 Great Suffolk Street London
 Units 107 And 108 16-48 Great Guildford Street London
 128 Southwark Street London Southwark
 Flat 4 Holmwood Buildings 97A Southwark Street
 Second To Third Floors 128 Southwark Street London
 Studio 133 51 Ewer Street London
 Studio 59 51 Ewer Street London
 Flat 109 17 Great Suffolk Street London
 First Floor Crane Building 22 Lavington Street
 Unit 401 Metal Box Factory Business Centre 30 Great Guildford Street
 156B Union Street London Southwark
 120-128 Union Street London Southwark
 Apartment 48 Rosler Building 85 Ewer Street
 Units 213 To 216 16-48 Great Guildford Street London
 603 Block D 5 Sumner Street London
 Cycle Hire Docking Station 08610812 Bankside Mix Southwark Street London
 Flat 162 17 Great Suffolk Street London

Fourth Floor 136 Southwark Street
London

Studio 77 51 Ewer Street London

Unit 128 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 405 Metal Box Factory Business
Centre 30 Great Guildford Street

Flat 9 17 Great Suffolk Street London

Stationery Cupboard Meeting Room
Metal Box Factory Business Centre 30
Great Guildford Street

Flat 54 18 Great Suffolk Street London

Car Park Space 46B 16-48 Great
Guildford Street London

Flat 1 17 Great Suffolk Street London

Studio 141 51 Ewer Street London

Unit 212 Metal Box Factory 30 Great
Guildford Street

15 Great Suffolk Street London
Southwark

Flat 144 17 Great Suffolk Street London

Studio 135 51 Ewer Street London

4 Brinton Walk London Southwark

Apartment 21 Braque Building 86 Ewer
Street

Apartment 1 Rosler Building 85 Ewer
Street

607 Block D 5 Sumner Street London

Unit 304 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 222 Metal Box Factory Business
Centre 30 Great Guildford Street

Part Ground Floor 99 Southwark Street
London

Second Floor 81 Southwark Street
London

First Floor East The Harlequin Building
65 Southwark Street

Bankside 3 90-100 Southwark Street
London

Second Floor Crane Building 22
Lavington Street

Unit 235 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 530 Metal Box Factory Business
Centre 30 Great Guildford Street

90-96 Union Street London Southwark

Unit 214 Great Guildford Business
Square 30 Great Guildford Street

24-26 Great Suffolk Street London
Southwark

21 Friars Close Bear Lane London

152A Union Street London Southwark

Flat 35 Edward Edwards House
Nicholson Street

Flat 33 Edward Edwards House
Nicholson Street

Flat 13 Edward Edwards House
Nicholson Street

Second Floor 100-142 Union Street
London

Flat 6 Holmwood Buildings 97 Southwark
Street

Unit 316 Metal Box Factory Business
Centre 30 Great Guildford Street

Studio 75 51 Ewer Street London

Third Floor 81 Southwark Street London

84-88 Union Street London Southwark

Studio 5 51 Ewer Street London

Basement 91-93 Southwark Street
London

Apartment 25 Rosler Building 85 Ewer Street

Apartment 20 Rosler Building 85 Ewer Street

Apartment 8 Rosler Building 85 Ewer Street

Apartment 3 Rosler Building 85 Ewer Street

120 Union Street London Southwark

Part Basement Rear 42-44 Dolben Street London

Flat 110 17 Great Suffolk Street London

Flat 107 17 Great Suffolk Street London

Flat 99 17 Great Suffolk Street London

Arch 51 Wardens Grove London

Railway Arches 3 And 3A And 3C And 3D And 3E And 3F Burrell Street London

Car Park Space 56 16-48 Great Guildford Street London

Railway Arch 8 To 8A Chancel Street London

Third Floor 91-93 Southwark Street London

Unit 4 First Floor 5-11 Lavington Street London

Unit 3 First Floor 5-11 Lavington Street London

Unit 2 First Floor 5-11 Lavington Street London

Unit 2 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 127 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 125 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 417 Metal Box Factory Business Centre 30 Great Guildford Street

Basement Level Two Blue Fin Building 110 Southwark Street

Metal Box Factory 30 Great Guildford Street London

Unit 216 Great Guildford Business Square 30 Great Guildford Street

Second And Third Floors The Harlequin Building 65 Southwark Street

Crane Building 22 Lavington Street London

9 Friars Close Bear Lane London

6 Friars Close Bear Lane London

Flat 2 Holmwood Buildings 97 Southwark Street

2 Rotherham Walk London Southwark

Units 132 To 134 Metal Box Factory 30 Great Guildford Street

Ground Floor 18 Great Suffolk Street London

Unit 219 Metal Box Factory Business Centre 30 Great Guildford Street

Studio 108 51 Ewer Street London

Studio 99 51 Ewer Street London

Studio 60 51 Ewer Street London

Studio 26 51 Ewer Street London

Studio 17 51 Ewer Street London

Apartment 2 Braque Building 86 Ewer Street

Flat 68 17 Great Suffolk Street London

Flat 54 17 Great Suffolk Street London

Unit 206 Metal Box Factory Business Centre 30 Great Guildford Street

Unit 10 Lower Ground 5-11 Lavington Street London

Flat 121 17 Great Suffolk Street London

Flat 115 17 Great Suffolk Street London
 903 Block D 5 Sumner Street London
 702 Block D 5 Sumner Street London
 505 Block D 5 Sumner Street London
 103 Block D 5 Sumner Street London
 First Floor 99 Southwark Street London
 Excluding Third Floor And Fourth Floor
 5-13 Great Suffolk Street London
 Unit 302 Metal Box Factory 2 30 Great
 Guildford Street
 Unit 15 100 Southwark Street London
 Flat 89 18 Great Suffolk Street London
 Flat 32 18 Great Suffolk Street London
 Flat 16 5B Bear Lane London
 Flat 79 17 Great Suffolk Street London
 Flat 168 17 Great Suffolk Street London
 Flat 154 17 Great Suffolk Street London
 Railway Arches 52 To 53 Ewer Street
 London
 Car Park Space 56A 16-48 Great
 Guildford Street London
 Flat 126 17 Great Suffolk Street London
 Flat 124 17 Great Suffolk Street London
 804 Block D 5 Sumner Street London
 106 Block D 5 Sumner Street London
 Unit 11A Blue Fin Building 110
 Southwark Street
 Flat 86 18 Great Suffolk Street London
 Flat 84 18 Great Suffolk Street London
 Flat 75 18 Great Suffolk Street London
 Flat 6 88 Union Street London
 Flat 3 5B Bear Lane London
 Unit 8 And Unit 9 First Floor 5-11
 Lavington Street London
 B10 To B11 Part Basement 128
 Southwark Street London
 Roof Top 4621 The Harlequin Building
 65 Southwark Street
 Advertising Right 92 Southwark Street
 London
 Unit 308 16-48 Great Guildford Street
 London
 Unit 09 16-48 Great Guildford Street
 London
 Unit 08 16-48 Great Guildford Street
 London
 Units 311 And 312 16-48 Great Guildford
 Street London
 Unit 121 Metal Box Factory 30 Great
 Guildford Street
 Car Park Space 57 16-48 Great
 Guildford Street London
 Arches 33 To 34 Dolben Street London
 Crane House Lavington Street London
 Flat 4 160 Union Street London
 Flat 1 160 Union Street London
 Mansard House 29 Dolben Street
 London
 Flat B Christchurch House 4 Chancel
 Street
 Unit 224 Great Guildford Business
 Square 30 Great Guildford Street
 Unit 215 Great Guildford Business
 Square 30 Great Guildford Street
 Flat 12 Edward Edwards House
 Nicholson Street
 1 Rotherham Walk London Southwark
 7 Friars Close Bear Lane London

17 Friars Close Bear Lane London

14 Friars Close Bear Lane London

Unit 129 Great Guildford Business Square 30 Great Guildford Street

Flat 7 Holmwood Buildings 97A Southwark Street

Unit 209 To 211 16-48 Great Guildford Street London

Unit 1 15 Great Suffolk Street London

Units 437 To 440 Metal Box Factory Business Centre 30 Great Guildford Street

Fry Meeting Room Metal Box Factory Business Centre 30 Great Guildford Street

Atm Site 15 Great Suffolk Street London

Unit 224 B Great Guildford Business Square 30 Great Guildford Street

Unit 126 Metal Box Factory Business Centre 30 Great Guildford Street

Flat 9 5B Bear Lane London

Flat 6 5B Bear Lane London

Unit 410 Metal Box Factory Business Centre 30 Great Guildford Street

Basement East 182-194 Union Street London

Grande Vitesse Industrial Centre 38 Great Suffolk Street London

Flat 808 Bankside House 24 Sumner Street

Fourth Floor And Fifth Floor Flat 134 Southwark Street London

Unit 334 16-48 Great Guildford Street London

Units 309 And 310 16-48 Great Guildford Street London

Unit 218 16-48 Great Guildford Street London

Railway Arches 77 To 78 Gambia Street London

Railway Arch 68 Ewer Street London

Railway Arch 62 Ewer Street London

18 Dolben Street London Southwark

Unit 4 Lower Ground 5-11 Lavington Street London

Flat 5 160 Union Street London

Flat 32 Edward Edwards House Nicholson Street

8 Rotherham Walk London Southwark

89 Southwark Street London Southwark

118 Southwark Street London Southwark

156A Union Street London Southwark

182-194 Union Street London Southwark

Arch 48 Wardens Grove London

Unit 101-119 16-48 Great Guildford Street London

Atm Site 18 Great Suffolk Street London

Sixth Floor Crane Building 22 Lavington Street

Unit B Blue Fin Building 110 Southwark Street

Second Floor Flat 134 Southwark Street London

Studio 126 51 Ewer Street London

Studio 117 51 Ewer Street London

Studio 103 51 Ewer Street London

Studio 100 51 Ewer Street London

Studio 89 51 Ewer Street London

Studio 74 51 Ewer Street London

Studio 68 51 Ewer Street London

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| Studio 37 51 Ewer Street London | Studio 83 51 Ewer Street London |
| Studio 28 51 Ewer Street London | Studio 65 51 Ewer Street London |
| Studio 22 51 Ewer Street London | Studio 21 51 Ewer Street London |
| Studio 7 51 Ewer Street London | Studio 18 51 Ewer Street London |
| Apartment 26 Braque Building 86 Ewer Street | Studio 13 51 Ewer Street London |
| Apartment 24 Braque Building 86 Ewer Street | Studio 6 51 Ewer Street London |
| Apartment 11 Braque Building 86 Ewer Street | Apartment 6 Braque Building 86 Ewer Street |
| Apartment 47 Rosler Building 85 Ewer Street | Apartment 4 Braque Building 86 Ewer Street |
| Apartment 24 Rosler Building 85 Ewer Street | Apartment 3 Braque Building 86 Ewer Street |
| Apartment 7 Ernst Building 142 Union Street | Apartment 27 Rosler Building 85 Ewer Street |
| Flat 76 18 Great Suffolk Street London | Apartment 17 Rosler Building 85 Ewer Street |
| Flat 68 18 Great Suffolk Street London | Apartment 16 Rosler Building 85 Ewer Street |
| Flat 45 18 Great Suffolk Street London | Apartment 2 Rosler Building 85 Ewer Street |
| Flat 103 17 Great Suffolk Street London | Apartment 3 Ernst Building 142 Union Street |
| Flat 95 17 Great Suffolk Street London | Flat 79 18 Great Suffolk Street London |
| Unit 526 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 60 18 Great Suffolk Street London |
| Unit 511 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 101 17 Great Suffolk Street London |
| Railway Arch 9 Ewer Street London | Flat 91 17 Great Suffolk Street London |
| Advertising Right Outside 90 To 100 Southwark Street London | Flat 83 17 Great Suffolk Street London |
| First Floor 128 Southwark Street London | Flat 67 17 Great Suffolk Street London |
| 100-142 Union Street London Southwark | Flat 55 17 Great Suffolk Street London |
| Studio 132 51 Ewer Street London | Flat 37 18 Great Suffolk Street London |
| Studio 129 51 Ewer Street London | Flat 31 18 Great Suffolk Street London |
| Studio 124 51 Ewer Street London | Flat 22 17 Great Suffolk Street London |
| Studio 112 51 Ewer Street London | Flat 11 17 Great Suffolk Street London |

17 Great Suffolk Street London Southwark

18A Great Suffolk Street London Southwark

Flat 10 5B Bear Lane London

503 Block D 5 Sumner Street London

105 Block D 5 Sumner Street London

39 Bear Lane London Southwark

Flat 175 17 Great Suffolk Street London

Flat 156 17 Great Suffolk Street London

Flat 155 17 Great Suffolk Street London

Flat 138 17 Great Suffolk Street London

Flat 130 17 Great Suffolk Street London

Flat 119 17 Great Suffolk Street London

Third Floor 99 Southwark Street London

Basement To First Floor 138-140 Southwark Street London

Flat 66 17 Great Suffolk Street London

Flat 57 17 Great Suffolk Street London

Flat 53 17 Great Suffolk Street London

Flat 40 18 Great Suffolk Street London

Flat 32 17 Great Suffolk Street London

Flat 29 17 Great Suffolk Street London

Flat 17 17 Great Suffolk Street London

Flat 18 5B Bear Lane London

Flat 4 5B Bear Lane London

902 Block D 5 Sumner Street London

802 Block D 5 Sumner Street London

203 Block D 5 Sumner Street London

Str Global Ltd Blue Fin Building 110 Southwark Street

100 Southwark Street London Southwark

Flat 173 17 Great Suffolk Street London

Flat 170 17 Great Suffolk Street London

Flat 152 17 Great Suffolk Street London

Flat 147 17 Great Suffolk Street London

Flat 141 17 Great Suffolk Street London

Flat 134 17 Great Suffolk Street London

Flat 127 17 Great Suffolk Street London

Flat 112 17 Great Suffolk Street London

Unit 301 Metal Box Factory 2 30 Great Guildford Street

100C Southwark Street London Southwark

Twelfth Floor Blue Fin Building 110 Southwark Street

Street Record Keppel Row London

Street Record Zoar Street London

Unit 6 First Floor Rear 5-11 Lavington Street London

Third Floor 182-194 Union Street London

Unit 401 16-48 Great Guildford Street London

Street Record Gambia Street London

Street Record Farnham Place London

Street Record Bear Lane London

16-48 Great Guildford Street London Southwark

Railway Arch 83 Scoresby Street London

Units 125 To 127 16-48 Great Guildford Street London

Car Park Space 61 16-48 Great Guildford Street London

Car Park Lloyds Computer Centre Hopton Street

Fourth Floor Rear Crane Building 22 Lavington Street

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|---|--|
| Want Some Media Ltd Metal Box Factory 30 Great Guildford Street | Flat 69 18 Great Suffolk Street London |
| Unit G7 Union Print Business Centre 164 - 180 Union Street | Unit 431 Metal Box Factory Business Centre 30 Great Guildford Street |
| Ground Floor Meeting Room Union Print Business Centre 164 - 180 Union Street | Studio 111 51 Ewer Street London |
| Units 307 And 308 Union Print Business Centre 164 - 180 Union Street | Studio 11 51 Ewer Street London |
| Unit G4 Union Print Business Centre 164 - 180 Union Street | Unit 202 Great Guildford Business Square 30 Great Guildford Street |
| Unit 401 Union Print Business Centre 164 - 180 Union Street | Flat 45 17 Great Suffolk Street London |
| Unit G5 Union Print Business Centre 164 - 180 Union Street | 302 Block D 5 Sumner Street London |
| Unit 204 Second Floor Union Print Business Centre 164 - 180 Union Street | 11 Friars Close Bear Lane London |
| 3 Sumner Street London Southwark | Flat 20 17 Great Suffolk Street London |
| First Floor Blue Fin Building 110 Southwark Street | Flat 1 5B Bear Lane London |
| Ground Floor 84-88 Union Street London | Studio 47 51 Ewer Street London |
| Street Record Rotherham Walk London | Apartment 8 Braque Building 86 Ewer Street |
| Street Record Brinton Walk London | 84 Union Street London Southwark |
| 71-79 Southwark Street London Southwark | Apartment 14 Rosler Building 85 Ewer Street |
| Unit B10 Union Print Business Centre 164 - 180 Union Street | Flat 89 17 Great Suffolk Street London |
| Unit 104 Union Print Business Centre 164 - 180 Union Street | Railway Arch 20 Chancel Street London |
| Unit G10 Union Print Business Centre 164 - 180 Union Street | Unit G015 Metal Box Factory Business Centre 30 Great Guildford Street |
| Unit 206 Union Print Business Centre 164 - 180 Union Street | Flat 81 18 Great Suffolk Street London |
| Units G6 And G9 Union Print Business Centre 164 - 180 Union Street | 205 Block D 5 Sumner Street London |
| Unit 205 Union Print Business Centre 164 - 180 Union Street | Hilton London Bankside 2-8 Great Suffolk Street London |
| First Floor 100-142 Union Street London | Railway Arches 56 To 57 Ewer Street London |
| | 303 Block D 5 Sumner Street London |
| | 28 Great Suffolk Street London Southwark |
| | Unit 424 Metal Box Factory Business Centre 30 Great Guildford Street |
| | Flat 46 17 Great Suffolk Street London |

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| Flat 63A 18 Great Suffolk Street London | Basement West 182-194 Union Street London |
| Unit 303 Metal Box Factory Business Centre 30 Great Guildford Street | The Harlequin Building 65 Southwark Street London |
| Units 01 And 02 16-48 Great Guildford Street London | 7 Canvey Street London Southwark |
| Railway Arch 67 Ewer Street London | Flat 51 17 Great Suffolk Street London |
| 18B Great Suffolk Street London Southwark | Basement And Ground Floor 132 Southwark Street London |
| Arch 50 Wardens Grove London | Studio 14 51 Ewer Street London |
| Unit 318 Metal Box Factory Business Centre 30 Great Guildford Street | Lloyds Computer Centre Hopton Street London |
| Unit 513 Metal Box Factory Business Centre 30 Great Guildford Street | Studio 109 51 Ewer Street London |
| 1 Burrell Street London Southwark | 23 Friars Close Bear Lane London |
| 116 Southwark Street London Southwark | Unit 135 To 136 Metal Box Factory Business Centre 30 Great Guildford Street |
| 16 Friars Close Bear Lane London | Apartment 21 Rosler Building 85 Ewer Street |
| Studio 50 51 Ewer Street London | 122 Southwark Street London Southwark |
| Flat 72 18 Great Suffolk Street London | Flat 51 18 Great Suffolk Street London |
| 100B Southwark Street London Southwark | Flat 17 5B Bear Lane London |
| Unit 327 16-48 Great Guildford Street London | Railway Arch 63 Ewer Street London |
| 6 Chancel Street London Southwark | Railway Arch 55 Ewer Street London |
| Flat 2 17 Great Suffolk Street London | Unit 10 First Floor 5-11 Lavington Street London |
| 703 Block D 5 Sumner Street London | First Floor 132 Southwark Street London |
| Flat 133 17 Great Suffolk Street London | Flat 43A 18 Great Suffolk Street London |
| Studio 113 51 Ewer Street London | 15 Hoptons Gardens Hopton Street London |
| Street Record Great Suffolk Street London | Unit 505 Metal Box Factory Business Centre 30 Great Guildford Street |
| Studio 12 51 Ewer Street London | Unit 409 Metal Box Factory Business Centre 30 Great Guildford Street |
| Street Record Wardens Grove London | Ground Floor Crane Building 22 Lavington Street |
| Ernst Building 142 Union Street London | |
| Flat 74 18 Great Suffolk Street London | |

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| Railway Arch 10 Chancel Street London | Apartment 25 Braque Building 86 Ewer Street |
| Christchurch House 4 Chancel Street London | Studio 144 51 Ewer Street London |
| Unit 420 Metal Box Factory Business Centre 30 Great Guildford Street | Studio 134 51 Ewer Street London |
| Unit G01 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 3 1 Treveris Street London |
| 85-89 Southwark Street London Southwark | Apartment 30 Rosler Building 85 Ewer Street |
| Unit 225 Metal Box Factory Business Centre 30 Great Guildford Street | Apartment 6 Ernst Building 142 Union Street |
| 19 Friars Close Bear Lane London | Flat 113 17 Great Suffolk Street London |
| 9 Rotherham Walk London Southwark | Flat 104 17 Great Suffolk Street London |
| Unit 6 Rear East First Floor Europoint House 5 Lavington Street | Flat 87 17 Great Suffolk Street London |
| Second Floor 118 Southwark Street London | Cycle Hire Docking Station Adjacent To 144 Southwark Street London |
| Studio 81 51 Ewer Street London | Flat 165 17 Great Suffolk Street London |
| Unit 317 Great Guildford Business Square 30 Great Guildford Street | Flat 73 17 Great Suffolk Street London |
| 906 Block D 5 Sumner Street London | Flat 56 17 Great Suffolk Street London |
| Flat 38 Edward Edwards House Nicholson Street | Flat 38 17 Great Suffolk Street London |
| Flat 12 Holmwood Buildings 97A Southwark Street | Unit 11 Lower Ground 5-11 Lavington Street London |
| Railway Arches 6 To 13 And Arch 66 Braque Building 86 Ewer Street | Flat 146 17 Great Suffolk Street London |
| Unit 412 To 413 Metal Box Factory Business Centre 30 Great Guildford Street | Flat 143 17 Great Suffolk Street London |
| Unit 313 Metal Box Factory Business Centre 30 Great Guildford Street | 1002 Block D 5 Sumner Street London |
| Studio 93 51 Ewer Street London | 402 Block D 5 Sumner Street London |
| Studio 87 51 Ewer Street London | Bankside 2 90-100 Southwark Street London |
| Studio 78 51 Ewer Street London | Flat 55 18 Great Suffolk Street London |
| | Flat 50 18 Great Suffolk Street London |
| | Flat 35 18 Great Suffolk Street London |
| | 18 Sumner Street London Southwark |
| | Basement Unit 7 5-11 Lavington Street London |
| | Third Floor Blue Fin Building 110 Southwark Street |

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| Railway Arch 80 Scoresby Street London | Railway Arch 11 Chancel Street London |
| Unit 226 16-48 Great Guildford Street London | Railway Arch 1 Ewer Street London |
| Units 203 And 204 16-48 Great Guildford Street London | Flat 71 17 Great Suffolk Street London |
| Unit 3 Ground Floor 5-11 Lavington Street London | Flat 65 17 Great Suffolk Street London |
| Unit 2 Ground Floor 5-11 Lavington Street London | Flat 41 17 Great Suffolk Street London |
| 13 Hoptons Gardens Hopton Street London | Part Basement Room B5 16-48 Great Guildford Street London |
| 5 Brinton Walk London Southwark | Flat 10 17 Great Suffolk Street London |
| 152 Union Street London Southwark | Flat 7 17 Great Suffolk Street London |
| 146 Union Street London Southwark | Railway Arch 5 Burrell Street London |
| Flat 36 Edward Edwards House Nicholson Street | Flat 140 17 Great Suffolk Street London |
| Flat 16 Edward Edwards House Nicholson Street | Flat 137 17 Great Suffolk Street London |
| 7 Rotherham Walk London Southwark | Flat 129 17 Great Suffolk Street London |
| Studio 69 51 Ewer Street London | 502 Block D 5 Sumner Street London |
| Studio 54 51 Ewer Street London | 202 Block D 5 Sumner Street London |
| Studio 45 51 Ewer Street London | Flat 4 31 Dolben Street London |
| Studio 29 51 Ewer Street London | Flat 53 18 Great Suffolk Street London |
| Unit 207 To Unit 208 Great Guildford Business Square 30 Great Guildford Street | Flat 47 18 Great Suffolk Street London |
| Apartment 22 Braque Building 86 Ewer Street | Flat 41 18 Great Suffolk Street London |
| Studio 150 51 Ewer Street London | 90B Southwark Street London Southwark |
| Studio 125 51 Ewer Street London | 4 Canvey Street London Southwark |
| Apartment 17 Braque Building 86 Ewer Street | Flat 22 5B Bear Lane London |
| Apartment 15 Braque Building 86 Ewer Street | Flat 12 5B Bear Lane London |
| Apartment 10 Rosler Building 85 Ewer Street | Eleventh Floor South Wing Blue Fin Building 110 Southwark Street |
| | Units 406 To 408 16-48 Great Guildford Street London |
| | Fourth Floor 182-194 Union Street London |
| | Second Floor 132 Southwark Street London |
| | Friars Close Bear Lane London |

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| James Forbes House 27 Great Suffolk Street London | 28A Great Suffolk Street London Southwark |
| Units 322 And 323 16-48 Great Guildford Street London | Proximity London 90-100 Southwark Street London |
| Unit 314 16-48 Great Guildford Street London | C Space 90-100 Southwark Street London |
| Units 06 16-48 Great Guildford Street London | Unit 221 Metal Box Factory Business Centre 30 Great Guildford Street |
| Railway Arch 66 Ewer Street London | Third To Fifth Floors 118 Southwark Street London |
| Units 13 And 14 Ground Floor 5-11 Lavington Street London | Unit G02 Metal Box Factory Business Centre 30 Great Guildford Street |
| Unit 3 Lower Ground 5-11 Lavington Street London | Unit 436 Metal Box Factory Business Centre 30 Great Guildford Street |
| Bankside House 24 Sumner Street London | Unit 427 Metal Box Factory Business Centre 30 Great Guildford Street |
| 14 Hoptons Gardens Hopton Street London | Unit 419 Metal Box Factory Business Centre 30 Great Guildford Street |
| Arch 34 87 Southwark Bridge Road London | Unit 414 To Unit 416 Metal Box Factory Business Centre 30 Great Guildford Street |
| Flat 2 160 Union Street London | 107 Block D 5 Sumner Street London |
| 20 Friars Close Bear Lane London | Flat 5 1 Treveris Street London |
| Ground Floor 100-142 Union Street London | Studio 139 51 Ewer Street London |
| Seager House 29-31 Great Suffolk Street London | Studio 98 51 Ewer Street London |
| Units 3 To 5 Grande Vitesse Industrial Centre 38 Great Suffolk Street | Studio 88 51 Ewer Street London |
| 136 Southwark Street London Southwark | Studio 70 51 Ewer Street London |
| Railway Arch 64 Ewer Street London | Studio 67 51 Ewer Street London |
| Flat 11 Holmwood Buildings 97A Southwark Street | Studio 55 51 Ewer Street London |
| 16 Great Guildford Street London Southwark | Studio 53 51 Ewer Street London |
| Fourth Floor The Harlequin Building 65 Southwark Street | Studio 49 51 Ewer Street London |
| Arch 45 Wardens Grove London | Studio 36 51 Ewer Street London |
| | Studio 33 51 Ewer Street London |
| | Studio 31 51 Ewer Street London |
| | Studio 27 51 Ewer Street London |

Apartment 44 Rosler Building 85 Ewer Street

Apartment 37 Rosler Building 85 Ewer Street

Apartment 34 Rosler Building 85 Ewer Street

Apartment 26 Rosler Building 85 Ewer Street

Apartment 11 Rosler Building 85 Ewer Street

Apartment 8 Ernst Building 142 Union Street

Flat 77 18 Great Suffolk Street London

Flat 65 18 Great Suffolk Street London

Flat 63 18 Great Suffolk Street London

Flat 56 18 Great Suffolk Street London

Flat 49 18 Great Suffolk Street London

Flat 105 17 Great Suffolk Street London

Flat 80 17 Great Suffolk Street London

Flat 78 17 Great Suffolk Street London

154 Union Street London Southwark

Citizen M Hotel Lavington Street London

Flat 39 Edward Edwards House
Nicholson Street

6 Rotherham Walk London Southwark

8 Friars Close Bear Lane London

25 Friars Close Bear Lane London

18 Friars Close Bear Lane London

51 Ewer Street London Southwark

9-11 Bear Lane London Southwark

Arch 17 Dolben Street London

42-44 Dolben Street London Southwark

Flat 9 Holmwood Buildings 97 Southwark Street

Flat 14 Holmwood Buildings 97 Southwark Street

507 Block D 5 Sumner Street London

Flat 4 28 Great Suffolk Street London

Metal Box Cafe Great Guildford
Business Square 30 Great Guildford
Street

Togorun 90-100 Southwark Street
London

Fleishman Hillard Group Ltd 90-100
Southwark Street London

Unit 305 To 308 Metal Box Factory
Business Centre 30 Great Guildford
Street

307 Block D 5 Sumner Street London

First Floor 118 Southwark Street London

Unit G014 Metal Box Factory Business
Centre 30 Great Guildford Street

Unit 224 A Great Guildford Business
Square 30 Great Guildford Street

Unit G04 To Unit G13 Metal Box Factory
Business Centre 30 Great Guildford
Street

Unit 523 Metal Box Factory Business
Centre 30 Great Guildford Street

Units 2 To 6 And Arch 30 Grande
Vitesse Industrial Centre 38 Great Suffolk
Street

Part Second Floor North Europoint
House 5 Lavington Street

Flat 8 1 Treveris Street London

Studio 148 51 Ewer Street London

Studio 143 51 Ewer Street London

Studio 140 51 Ewer Street London

Studio 138 51 Ewer Street London

Studio 119 51 Ewer Street London

Studio 106 51 Ewer Street London
 Studio 92 51 Ewer Street London
 Studio 85 51 Ewer Street London
 Studio 82 51 Ewer Street London
 Studio 71 51 Ewer Street London
 Studio 34 51 Ewer Street London
 Apartment 13 Braque Building 86 Ewer Street
 Apartment 1 Braque Building 86 Ewer Street
 Apartment 49 Rosler Building 85 Ewer Street
 Apartment 42 Rosler Building 85 Ewer Street
 Apartment 41 Rosler Building 85 Ewer Street
 Apartment 29 Rosler Building 85 Ewer Street
 Apartment 19 Rosler Building 85 Ewer Street
 Flat 88 18 Great Suffolk Street London
 Flat 48 18 Great Suffolk Street London
 Flat 42 18 Great Suffolk Street London
 Flat 39 18 Great Suffolk Street London
 Flat 33 18 Great Suffolk Street London
 Flat 61 17 Great Suffolk Street London
 Flat 28 17 Great Suffolk Street London
 Flat 19 17 Great Suffolk Street London
 Flat 3 17 Great Suffolk Street London
 Flat 8 88 Union Street London
 Flat 4 88 Union Street London
 Flat 97 17 Great Suffolk Street London
 Flat 69 17 Great Suffolk Street London

Flat 47 17 Great Suffolk Street London
 Living Accommodation Mar I Terra
 Public House 14 Gambia Street
 Flat 29 18 Great Suffolk Street London
 Flat 26 18 Great Suffolk Street London
 Flat 42 17 Great Suffolk Street London
 Flat 31 17 Great Suffolk Street London
 Flat 12 17 Great Suffolk Street London
 Flat 8 17 Great Suffolk Street London
 Unit 1 88 Union Street London
 Flat 23 5B Bear Lane London
 Flat 15 5B Bear Lane London
 Flat 7 5B Bear Lane London
 5E Bear Lane London Southwark
 5C-5D Bear Lane London Southwark
 5B Bear Lane London Southwark
 704 Block D 5 Sumner Street London
 206 Block D 5 Sumner Street London
 201 Block D 5 Sumner Street London
 104 Block D 5 Sumner Street London
 Flat A 162 Union Street London
 Flat 176 17 Great Suffolk Street London
 Flat 139 17 Great Suffolk Street London
 Flat 123 17 Great Suffolk Street London
 Cycle Hire Docking Station 08610801
 Southwark Street London
 Third Floor 5-13 Great Suffolk Street
 London
 3 Canvey Street London Southwark
 100D Southwark Street London
 Southwark
 2 Canvey Street London Southwark

90A Southwark Street London
Southwark

106 Southwark Street London Southwark

Unit 404 16-48 Great Guildford Street
London

Street Record Chancel Street London

B01 To B03 Part Basement Excluding
Basement Store East Rear 128
Southwark Street London

Units 05 16-48 Great Guildford Street
London

Unit 205 Metal Box Factory 30 Great
Guildford Street

Topdesk Crane Building 22 Lavington
Street

Unit 101 Union Print Business Centre
164 - 180 Union Street

Unit G1 Union Print Business Centre 164
- 180 Union Street

Unit 309 Union Print Business Centre
164 - 180 Union Street

Unit 302 Union Print Business Centre
164 - 180 Union Street

Unit 209 Union Print Business Centre
164 - 180 Union Street

Studio 94 51 Ewer Street London

Flat 9 88 Union Street London

30A Dolben Street London Southwark

Second Floor 95 Southwark Street
London

Flat 7 1 Treveris Street London

Street Record Hopton Street London

Studio 116 51 Ewer Street London

Re-consultation:

Consultation responses received

Internal services

Design and Conservation Team [Formal]

Transport Policy

Archaeology

Ecology

Highways Development and Management

Urban Forester

Statutory and non-statutory organisations

Metropolitan Police Service (Designing O

Thames Water

Neighbour and local groups consulted:

4 Rosler's Building 85 Ewer Street
London

APPENDIX 3**RECOMMENDATION**

This document shows the case officer's recommended decision for the application referred to below.

This document is not a decision notice for this application.

| | | | |
|-------------------------|--|--------------------|------------|
| Applicant | LS Lavington Street Limited | Reg. Number | 20/AP/1009 |
| Application Type | Major application | | |
| Recommendation | GRANT subject to Legal Agreement and Referral to the Mayor of London | Case Number | 1518-A |

Draft of Decision Notice**For the following development:**

Redevelopment of the site including partial demolition of existing buildings and erection of two buildings including basement and above ground development of 10 and 15 storeys (in addition to plant) to provide office use (Class B1), retail use (Class A1), flexible retail and leisure (A1/A3, A3/A4, D2/A3/A4), landscaping, public realm, highway works, disabled car parking, cycle parking, plant and associated works.

25 Lavington Street London Southwark SE1 0NA

In accordance with application received on 31 March 2020

Time limit for implementing this permission and the approved plans

1. Time Limit

The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason:

As required by Section 91 of the Town and Country Planning Act 1990 as amended.

2. Approved plans

The development hereby permitted shall not be carried out otherwise than in accordance with the following approved plans:

Site Plan

25L-BAA-ZZZ-ZZZ-DR-A-P100100

25L-BAA-ZZZ-ZZZ-DR-A-P200100

Floor Plans

25L-BAA-ZZZ-098-DR-A-P200098

25L-BAA-ZZZ-099-DR-A-P200099

25L-BAA-ZZZ-100-DR-A-P200100 REV A

25L-BAA-ZZZ-101-DR-A-P200101

25L-BAA-ZZZ-102-DR-A-P200102

25L-BAA-ZZZ-103-DR-A-P200103

25L-BAA-ZZZ-104-DR-A-P200104

25L-BAA-ZZZ-105-DR-A-P200105

25L-BAA-ZZZ-106-DR-A-P200106

25L-BAA-ZZZ-107-DR-A-P200107

25L-BAA-ZZZ-108-DR-A-P200108

25L-BAA-ZZZ-109-DR-A-P200109

25L-BAA-ZZZ-110-DR-A-P200110

25L-BAA-ZZZ-111-DR-A-P200111

25L-BAA-ZZZ-112-DR-A-P200112

25L-BAA-ZZZ-113-DR-A-P200113

25L-BAA-ZZZ-114-DR-A-P200114

25L-BAA-ZZZ-115-DR-A-P200115

Elevations and sections

25L-BAA-E00-ZEE-DR-A-P200320

25L-BAA-E00-ZWW-DR-A-P200341

25L-BAA-E00-ZZZ-DR-A-P200220

25L-BAA-W00-ZEE-DR-A-P200321

25L-BAA-W00-ZWW-DR-A-P200340

25L-BAA-W00-ZZZ-DR-A-P200240

25L-BAA-ZZZ-ZNN-DR-A-P200310

25L-BAA-ZZZ-ZSS-DR-A-P200330

25L-BAA-ZZZ-ZZZ-DR-A-P200230

Additional drawings

19169-MA-XX-XX-DR-C-0033 - P02

19169-MA-XX-XX-DR-C-0033- P01

25L_BAA_AWS_099_DR_A_P100099 S4

25L_BAA_AWS_100_DR_A_P100100 S4

25L_BAA_AWS_101_DR_A_P100101 S4

Reason:

For the avoidance of doubt and in the interests of proper planning."

Permission is subject to the following Pre-Commencements Condition(s)

3. Prior to the commencement of development a drainage strategy detailing any on and or off site drainage works shall be submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. No discharge of foul or surface water from the site shall be accepted into the public systems until drainage works referred to in the strategy have been completed and the development shall not be carried out otherwise than in accordance with any such approval given.

Reason

The development may lead to sewage flooding and to ensure that sufficient capacity is made available to cope with the new development and in order to avoid adverse environmental impact upon the community in accordance with The National Planning Policy Framework 2019, Strategic Policy 13 High Environmental Standards of the Core Strategy 2011 and Saved Policies 3.1 Environmental Effects and 3.9 Water of the Southwark Plan 2007.

4. Site Contamination
 - a) Prior to the commencement of any development, a site investigation and risk assessment shall be completed in accordance with a scheme to assess the nature and extent of any contamination on the site, whether or not it originates on the site.
 - i) The Phase 1 (desk study, site categorisation; sampling strategy etc.) shall be submitted to the Local Planning Authority for approval before the commencement of any intrusive investigations.
 - ii) Any subsequent Phase 2 (site investigation and risk assessment) shall be conducted in accordance with any approved scheme and submitted to the Local

Planning Authority for approval prior to the commencement of any remediation that might be required.

b) In the event that contamination is present, a detailed remediation strategy to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment shall be prepared and submitted to the Local Planning Authority for approval in writing. The scheme shall ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. The approved remediation scheme (if one is required) shall be carried out in accordance with its terms prior to the commencement of development, other than works required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority. The Local Planning Authority shall be given two weeks written notification of commencement of the remediation scheme works.

c) Following the completion of the works and measures identified in the approved remediation strategy, a verification report providing evidence that all works required by the remediation strategy have been completed shall be submitted to and approved in writing by the Local Planning Authority.

d) In the event that potential contamination is found at any time when carrying out the approved development that was not previously identified, it shall be reported in writing immediately to the Local Planning Authority, and a scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to the Local Planning Authority for approval in writing, in accordance with a-c above.

Reason

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with saved policy 3.2 'Protection of amenity' of the Southwark Plan (2007), strategic policy 13' High environmental standards' of the Core Strategy (2011) and the National Planning Policy Framework 2019.

5. Archaeological Excavation Fieldwork Condition.

Before any development (excluding demolition to ground level only), hereby authorised, begins, the applicant shall:

A. Secure the implementation of a further programme of archaeological excavation work, known as archaeological mitigation. Archaeological mitigation follows on from archaeological evaluation and can involve a range of possible options, including: preservation of archaeological remains by record (archaeological excavation and removal); and/or in situ (preservation on the site by design or by the implementation of an approved preservation regime); or further options to investigate, monitor (watching brief), model or sample archaeological deposits. This further programme of archaeological work shall be in accordance with a written scheme of investigation (WSI) for archaeological mitigation, which shall be submitted to the Local Planning Authority for approval in writing.

B. Submit a brief summary report on the results of these mitigation works to the Local Planning Authority for approval in writing. No further demolition or development shall take place until that written approval is received, which will allow the development to be carried out without further archaeological on-site fieldwork, and will allow the archaeological post-excavation analysis work to commence.

Reason:

Parts A and B: to ensure the preservation of archaeological remains by record or in situ, to identify and record any features of archaeological interest discovered during the works, and in order to mitigate the impact of the works on the archaeological resource, in accordance with the National Planning Policy Framework (2019), policy 7.8 (Heritage assets and archaeology) of the London Plan (2016), policy 12 (Design and Conservation) of the Southwark Core Strategy (2011) and saved policy 3.19 (Archaeology) of the Southwark Unitary Development Plan (2007).

6. Archaeological Evaluation

Before any work hereby authorised begins, excluding demolition to ground level only, the applicant shall secure the implementation of a programme of archaeological evaluation works in accordance with a written scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order that the applicants supply the necessary archaeological information to ensure suitable mitigation measures and/or foundation design

proposals be presented in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

7. Archaeological Pre-commencement Foundation and Basement Design Condition

Before any work, hereby authorised, begins, the applicant shall submit a detailed scheme showing the complete scope and arrangement of the basement and foundation design, and all associated subterranean groundworks, including the construction methods. The submitted documents should show how archaeological remains will be protected by a suitable mitigation strategy. The detailed scheme will need to be approved in writing by the Local Planning Authority and the development shall only be carried out in accordance with the approval given.

Reason: In order that all below ground impacts of the proposed development are known and an appropriate protection and mitigation strategy is achieved to preserve archaeological remains by record and/or in situ in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

8. No development shall take place, including any works of demolition, until a Construction Method Statement has been submitted to and approved in writing by the Local Planning Authority. The approved statement shall be adhered to throughout the construction period. The Statement shall provide for:

the parking of vehicles of site operatives and visitors;

loading and unloading of plant and materials;

storage of plant and materials used in constructing the development;

the erection and maintenance of security hoarding including decorative displays and facilities for public viewing, where appropriate;

wheel washing facilities;

measures to control the emission of dust and dirt during construction;

a scheme for recycling / disposing of waste resulting from demolition and construction works

Reason:

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of pollution and nuisance, in accordance with strategic policy 13 'High environmental standards' of the Core Strategy (2011) saved policy 3.2 'Protection of amenity' of the Southwark Plan (2007), and the National Planning Policy Framework 2019.

9. Materials salvaging

Prior to any demolition works taking place, a full photographic survey, both external and internal, shall be undertaken along with details of how materials including bricks will be salvaged, cleaned and stored for re-use shall be submitted to the Local Planning Authority for written approval.

Reason:

In the interests of amenity and to retain effective records.

10. Prior to works commencing (excluding demolition), full details of all proposed tree planting shall be submitted to and approved in writing by the Local Planning Authority. This will include tree pit cross sections, planting and maintenance specifications, use of guards or other protective measures and confirmation of location, species, sizes, nursery stock type, supplier and defect period. All tree planting shall be carried out in accordance with those details and at those times. Planting shall comply with BS5837: Trees in relation to demolition, design and construction (2012) and BS: 4428 Code of practice for general landscaping operations.

If within a period of five years from the date of the planting of any tree that tree, or any tree planted in replacement for it, is removed, uprooted or destroyed or

dies, or becomes, in the opinion of the local planning authority, seriously damaged or defective, another tree of the same species and size as that originally planted shall be planted at the same place in the first suitable planting season., unless the local planning authority gives its written consent to any variation.

To ensure the proposed development will preserve and enhance the visual amenities of the locality and is designed for the maximum benefit of local biodiversity, in addition to the attenuation of surface water runoff in accordance with The National Planning Policy Framework 2019 Parts 7, 8, 11 & 12 and policies of The Core Strategy 2011: SP11 Open spaces and wildlife; SP12 Design and conservation; SP13 High environmental standards, and Saved Policies of The Southwark Plan 2007: Policy 3.2 Protection of amenity; Policy 3.12 Quality in Design; Policy 3.13 Urban Design and Policy 3.28 Biodiversity."

Permission is subject to the following Grade Condition(s)

11. Ecological Management Plan

Before any construction above grade hereby authorised begins, a landscape management plan, including long- term design objectives, management responsibilities and maintenance schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to and approved in writing by the local planning authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

Reason:

This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature

conservation value of the site. This is an mandatory criteria of BREEAM (LE5) to monitor long term impact on biodiversity a requirement is to produce a Landscape and Habitat Management Plan

12. Nesting boxes

Details of Swift nesting boxes / bricks shall be submitted to and approved in writing by the Local Planning Authority prior to any construction works above grade. No less than six nesting boxes / bricks shall be provided and the details shall include the exact location, specification and design of the habitats. The boxes / bricks shall be installed with the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained.

The Swift nesting boxes / bricks shall be installed strictly in accordance with the details so approved, shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the nest/roost features and mapped locations and Southwark Council agreeing the submitted plans, and once the nest/roost features are installed in full in accordance to the agreed plans. A post completion assessment will be required to confirm the nest/roost features have been installed to the agreed specification.

Reason: To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: 5.10 and 7.19 of the London Plan 2016, Policy 3.28 of the Southwark Plan and Strategic Policy 11 of the Southwark Core strategy.

13. Green roofs

Before any above grade construction works hereby authorised begin, details of the biodiversity (green/brown) roofs shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity (green/brown) roof(s) shall be:

- * biodiversity based with extensive substrate base (depth 80-150mm);
- * laid out in accordance with agreed plans; and

* planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on wildflower planting, and no more than a maximum of 25% sedum coverage).

The biodiversity (green/brown) roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency.

The biodiversity roofs shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the green/brown roofs and Southwark Council agreeing the submitted plans, and once the green/brown roofs are completed in full in accordance to the agreed plans. A post completion assessment will be required to confirm the roof has been constructed to the agreed specification.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies 2.18 (Green Infrastructure: the Multifunctional Network of Green and Open Spaces), 5.3 (Sustainable Design and Construction), 5.10 (Urban Greening) and 5.11 (Green Roofs and Development Site Environs) of the London Plan 2016; Strategic Policy 11 (Design and Conservation) of the Core Strategy 2011, and; Saved Policy 3.28 (Biodiversity) of the Southwark Plan 2007.

14. Green walls

Before any construction works above grade hereby authorised begin, details of the green walls shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure works commencing on site. The wall shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair, or escape in case of emergency. The green wall shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter.

Discharge of this condition will be granted on receiving the details of the Walls and Southwark Council agreeing in writing the submitted plans.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: 2.18, 5.3, 5.10, and 5.11 of the London Plan 2016, saved policy 3.28 of the Southwark Plan and Strategic Policy 11 of the Southwark Core Strategy.

15. Materials

Prior to above grade construction commencing, material samples/sample-panels/sample-boards of all external facing materials to be used in the carrying out of this permission shall be presented on site and approved in writing by the Local Planning Authority; the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order to ensure that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing in accordance with The National Planning Policy Framework 2019, Strategic Policy 12 - Design and Conservation of The Core Strategy 2011 and Saved Policies: 3.12 Quality in Design and 3.13 Urban Design of The Southwark Plan 2007.

16. Detailed drawings

1:5/10 section detail-drawings through all buildings facades; parapets; heads, cills and jambs of all openings; entrance lobbies; shop frontages; roof edges; details of typical window openings, terraces, roof gardens, entrances (inc servicing) and shopfronts within:

(i) East Building;

(ii) West Building;

To be used in the carrying out of this permission shall be submitted to and approved in writing by the Local Planning Authority before any construction work above grade in connection with this permission is carried out. The development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that the Local Planning Authority may be satisfied as to the design and details in accordance with saved policies: Part 7 of the NPPF 2019; Policy SP12 of the Core Strategy (2011) and saved Policies 3.12 Quality in Design; 3.13 Urban Design; of The Southwark Plan (2007). (2007).

17. Design mock ups

Full-scale mock-ups of the facades to be used on both buildings in the carrying out of this permission shall be presented on site and approved in writing by the Local Planning Authority before any construction work above grade for the relevant building in connection with this permission is carried out; the development shall not be carried out otherwise than in accordance with any such approval given. The detailed scope of mock up requirements must be agreed with the Local Planning Authority in advance of the mock ups being constructed and presented on site.

Reason:

In order that the Local Planning Authority may be satisfied as to the design and details in accordance with saved policies: Part 7 of the NPPF 2019; Policy SP12 of the Core Strategy (2011) and saved Policies 3.12 Quality in Design; 3.13 Urban Design, 3.20 Tall Buildings; of The Southwark Plan (2007).

18. Landscaping

Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of the site not covered by buildings (including cross sections, surfacing materials of any parking, access, or pathways layouts, materials and edge details), shall be submitted to and approved in writing by the Local Planning Authority. This information shall also demonstrate how an Urban Greening Factor of at least 0.3 will be secured on site. The landscaping shall not be carried out otherwise than in accordance with any such approval given and shall be retained for the duration of the use.

The planting, seeding and/or turfing shall be carried out in the first planting season following completion of building works and any trees or shrubs that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the same size and species in the first suitable planting season. Planting shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction and BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf).

Reason:

So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2019; Strategic Policies 11 (Open Spaces and Wildlife), 12 (Design and conservation) and 13 (High Environmental Standards) of The Core Strategy 2011, and; Saved Policies 3.2 (Protection of Amenity), 3.12 (Quality in Design) 3.13 (Urban Design) and 3.28 (Biodiversity) of the Southwark Plan 2007.

19. Secure by design

Before any above grade work hereby authorised begins, details of security measures shall be submitted and approved in writing by the Local Planning Authority.

Any such security measures shall be implemented prior to occupation in accordance with the approved details which shall seek to achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

Reason:

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention, in accordance with: the National Planning Policy Framework 2019; Strategic Policy 12 (Design and Conservation) of the Core Strategy 2011, and; Saved Policy 3.14 (Designing out crime) of the Southwark Plan 2007.

20. Cycle storage

Before any above grade work hereby authorised begins, details (1:50 scale drawings) of the facilities to be provided for the secure and covered storage of cycles shall be submitted to and approved in writing by the Local Planning Authority. Thereafter the cycle parking facilities provided shall be retained and the space used for no other purpose, and the development shall not be carried out otherwise in accordance with any such approval given.

Reason:

In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with: the National Planning Policy Framework 2019; Strategic Policy 2 (Sustainable Transport) of the Core Strategy 2011, and; Saved Policy 5.3 (Walking and Cycling) of the Southwark Plan 2007.

21. BREEAM

(a) Before any fit out works to the commercial premises hereby authorised begins, an independently verified BREEAM report (detailing performance in each category, overall score, BREEAM rating and a BREEAM certificate of

building performance) to achieve a minimum 'excellent' rating shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any such approval given;

(b) Before the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the local planning authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed standards at (a) have been met.

Reason

To ensure the proposal complies with The National Planning Policy Framework 2019, Strategic Policy 13 - High Environmental Standards of The Core Strategy 2011 and Saved Policies 3.3 Sustainability and 3.4 Energy Efficiency of the Southwark Plan 2007.

Permission is subject to the following Pre-Occupation Condition(s)

22. SERVICE MANAGEMENT PLAN

Before the first occupation of the building hereby permitted, a Service Management Plan detailing how all elements of the site are to be serviced shall be submitted to and approved in writing by the Local Planning Authority.

The development shall be carried out in accordance with the approval given and shall remain for as long as the development is occupied.

Reason:

To ensure compliance with: the National Planning Policy Framework 2019; Strategic Policy 2 (Sustainable Transport) of the Core Strategy 2011, and; Saved Policy 5.2 (Transport Impacts) of the Southwark Plan 2007.

23. TRAVEL PLAN AND DETAILED TRANSPORT METHODS SURVEY

a) Before the first occupation of the building hereby permitted commences, the applicant shall submit in writing and obtain the written approval of the Local Planning Authority to a Travel Plan setting out the proposed measures to be taken to encourage the use of modes of transport other than the car by all users of the building, including staff and visitors.

b) At the start of the second year of operation of the approved Travel Plan, a detailed survey showing the methods of transport used by all those users of the building to and from the site and how this compares with the proposed measures and any additional measures to be taken to encourage the use of public transport, walking and cycling to the site shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise in accordance with any such approval given.

Reason:

In order that the use of non-car based travel is encouraged in accordance with: the National Planning Policy Framework 2019, Strategic Policy 2 (Sustainable Transport) of The Core Strategy 2011, and; Saved Policies 5.2 (Transport Impacts), 5.3 (Walking and Cycling) and 5.6 (Car Parking) of the Southwark Plan 2007.

24. DETAILS OF THE SHOWERING FACILITIES

Before the first occupation of the development, details of showering facilities to be provided for commercial units over 1000 sq.m shall be submitted to and approved in writing by the Local Planning Authority and thereafter the shower facilities shall be retained and the space used for no other purpose.

Reason:

In order to ensure that satisfactory facilities are provided and retained in order to encourage the use of non-car based travel, in accordance with: The National Planning Policy Framework 2019; Strategic Policy 2 (Sustainable Transport) of The Core Strategy 2011, and; Saved Policies 5.2 (Transport Impacts) and 5.3 (Walking and Cycling) of the Southwark Plan 2007.

25. Refuse storage

Before the first occupation of the development hereby permitted begins, details of the arrangements for the storing of refuse shall be submitted to and approved in writing by the Local Planning Authority.

Thereafter, the approved refuse storage facilities shall be provided and made available for use by the occupiers of the development and the facilities shall thereafter be retained and shall not be used or the space used for any other purpose.

Reason:

To ensure that the refuse will be appropriately stored within the site thereby protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with: the National Planning Policy Framework 2019; Strategic Policy 13 (High Environmental Standards) of the Core Strategy 2011, and; Saved Policies 3.2 (Protection of Amenity) and 3.7 (Waste Reduction) of the Southwark Plan 2007.

26. Signage strategy

The commercial units hereby permitted shall not be occupied until a site wide signage strategy detailing the design code for the proposed frontage of the commercial units facing street and routes (including advertisement zones, awnings, and spill-out zones) shall be submitted to and approved in writing by

the Local Planning Authority and thereafter implemented in accordance with the approved details.

Reason

In order to ensure that the quality of the design and details are in accordance with Strategic Policy 12 - Design and conservation of the Core Strategy 2011 and saved Policies 3.12 Quality in design and 3.13 Urban design of the Southwark Plan 2007.

27. Ventilation details

Prior to the commencement of use, full particulars and details of a scheme for the ventilation of the premises to an appropriate outlet level, including details of sound attenuation for any necessary plant and the standard of dilution expected, has been submitted to and approved by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any approval given.

Reason

In order to ensure that that the ventilation ducting and ancillary equipment will not result in an odour, fume or noise nuisance and will not detract from the appearance of the building in the interests of amenity in accordance with The National Planning Policy Framework 2019, Strategic Policy 13 - High Environmental Standards of The Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of The Southwark Plan 2007.

29. Thames Water

There shall be no occupation until confirmation has been provided that either:- all water network upgrades required to accommodate the additional flows to serve the development have been completed; or, a development and infrastructure phasing plan has been agreed with Thames Water to allow additional development to be occupied. Where a development and infrastructure phasing plan is agreed no occupation shall take place other than in accordance with the agreed development and infrastructure phasing plan.

Reason - The development may low / no water pressures and network reinforcement works are anticipated to be necessary to ensure that sufficient capacity is made available to accommodate additional demand anticipated from the new development. Any necessary reinforcement works will be necessary in order to avoid low / no water pressure issues

Permission is subject to the following Compliance Condition(s)

28. Noise

The machinery, plant or equipment installed or operated in connection with the carrying out of this permission shall be so enclosed and/or attenuated that noise there from does not, at any time, increase the ambient equivalent noise level when the plant, etc., is in use as measured at any adjoining or nearby premises in separate occupation; or (in the case of any adjoining or nearby residential premises) as measured outside those premises; or (in the case of residential premises in the same building) as measured in the residential unit.

Reason

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance from plant and machinery in accordance with the National Planning Policy Framework 2019, .Strategic Policy 13 High Environmental Standards of the Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of the Southwark Plan (2007).

30. Office terrace use

Other than for maintenance purposes, repair purposes or means of escape, the office terraces shall not be used outside of the following hours:

10:00 - 21:00 on Mondays to Fridays

Reason:

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance in accordance with: the National Planning Policy Framework 2019; Strategic Policy 13 (High Environmental Standards) of the Core Strategy 2011, and; Saved Policy 3.2 (Protection of Amenity) of the Southwark Plan 2007.

31. Electric vehicle charging

The accessible parking bays shall be provided with electric car charging facilities.

Reason:

To encourage more sustainable travel, in accordance with: the National Planning Policy Framework 2019; Strategic Policy 2 (Sustainable Transport) of the Core Strategy 2011, and; Saved Policies 3.1 (Environmental Effects) and 5.2 (Transport Impacts) of the Southwark Plan 2007.

32. Restrictions on use

Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order and any associated provisions of the Town and Country Planning General Permitted Development Order (including any future amendment or enactment of those Orders), no more than 25% of the retail space shall be used for Class A4 purposes.

Reason:

In granting this permission the Local Planning Authority has had regard to the special circumstances of this case and wishes to have the opportunity of exercising control over use, in accordance with: the National Planning Policy Framework 2019; Strategic Policy 13 (High environmental standards) of the Core Strategy 2011, and; Saved Policy 3.2 (Protection of Amenity) of the Southwark Plan 2007.

33. Hours of use

The use hereby permitted for Class A purposes shall not be carried on outside of the hours of:

07:00 - 23:30 on Monday to Saturday and;

08:00 - 23:00 on Sundays and Bank Holidays.

The Class D2 use shall not be carried on outside the hours of:

10:00- 23:30 on Monday to Saturday and;

08:00 - 23:00 on Sundays and Bank Holidays.

Reason:

To safeguard the amenities of neighbouring residential properties in accordance with The National Planning Policy Framework 2019, Strategic Policy 13 High environmental standards of The Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of The Southwark Plan 2007.

34. Plant Noise - standard

The Rated sound level from any plant, together with any associated ducting shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the Specific plant sound level shall be 10dB(A) or more below the background sound level in this location. For the

purposes of this condition the Background, Rating and Specific Sound levels shall be calculated fully in accordance with the methodology of BS4142:2014

Reason

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the National Planning Policy Framework 2019, Strategic Policy 13 High Environmental Standards of the Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of the Southwark Plan (2007).

35. No roof plant

No roof plant, equipment or other structures, other than as shown on the plans hereby approved or approved pursuant to a condition of this permission, shall be placed on the roof or be permitted to project above the roofline of any part of the buildings as shown on elevational drawings or shall be permitted to extend outside of the roof plant enclosures of any buildings hereby permitted.

Reason

In order to ensure that no additional plant is placed on the roof of the building in the interest of the appearance and design of the building and the visual amenity of the area in accordance with The National Planning Policy Framework 2019, Strategic Policy 12 - Design and Conservation of The Core Strategy 2011 and Saved Policies 3.2 Protection of Amenity and 3.13 Urban Design of the Southwark Plan 2007.

Permission is subject to the following Special Condition(s)

36. Archaeological Public Engagement

In the event that in the opinion of the Local Planning Authority significant archaeological interest is revealed (or is in any case obvious) an appropriate programme of public engagement (public display, interpretation and signage, site visits, accessible public areas or viewing points, etc.) shall be designed by the applicant and submitted to the Local Planning Authority for approval in writing. Detailed drawings of the design, including timetable, location, content and a full specification of the construction and materials shall be submitted to and approved in writing by the Local Planning Authority. The engagement shall be carried out in accordance with the approval given.

Reasons: In order to enhance public value and public benefit from engagement with the historic environment, to contribute to place-making and to provide information on the special archaeological and historical interest of this part of Southwark.

37. Archaeological Reporting and Publication

Within one year of the completion of the archaeological work on site, an assessment report detailing the proposals for the off-site analyses and post-excavation works, including publication of the site and preparation for deposition of the archive, shall be submitted to and approved in writing by the Local Planning Authority, and the works detailed in the assessment report shall not be carried out otherwise than in accordance with any such approval given. The assessment report shall provide evidence of the applicant's commitment to finance and resource these works to their completion.

Reason: In order that the archaeological interest of the site is secured with regard to the details of the post-excavation works, publication and archiving to ensure the preservation of archaeological remains by record in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

Informatives

- 1 An undertaking should be given that, access for fire appliances as required by Part B5 of the current Building Regulations Approved Document B and adequate water supplies for fire fighting purposes, will be provided.

- 2 The proposed development is located within 15 metres of Thames Waters underground assets and as such, the development could cause the assets to fail if appropriate measures are not taken. Please read TW guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>. Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk Phone: 0800 009 3921 (Monday to Friday, 8am to 5pm) Write to: Thames Water Developer Services, Clearwater Court, Vastern Road, Reading, Berkshire RG1 8DB

As required by Building regulations part H paragraph 2.36, Thames Water requests that you should incorporate within the proposal, protection to the property to prevent sewage flooding, by installing a positive pumped device (or equivalent reflecting technological advances), on the assumption that the sewerage network may surcharge to ground level during storm conditions. If as part of the basement development there is a proposal to discharge ground water to the public network, this would require a Groundwater Risk Management Permit from Thames Water. Any discharge made without a permit is deemed illegal and may result in prosecution under the provisions of the Water Industry Act 1991. We would expect the developer to demonstrate what measures will be undertaken to minimise groundwater discharges into the public sewer. Permit enquiries should be directed to Thames Water's Risk

Management Team by telephoning 02035779483 or by emailing wwriskmanagement@thameswater.co.uk. Application forms should be completed on line via www.thameswater.co.uk. Please refer to the Wholesale; Business customers; Groundwater discharges section.

A Trade Effluent Consent will be required for any Effluent discharge other than a 'Domestic Discharge'. Any discharge without this consent is illegal and may result in prosecution. (Domestic usage for example includes - toilets, showers, washbasins, baths, private swimming pools and canteens). Typical Trade Effluent processes include: - Laundrette/Laundry, PCB manufacture, commercial swimming pools, photographic/printing, food preparation, abattoir, farm wastes, vehicle washing, metal plating/finishing, cattle market wash down, chemical manufacture, treated cooling water and any other process which produces contaminated water. Pre-treatment, separate metering, sampling access etc may be required before the Company can give its consent. Applications should be made at <https://wholesale.thameswater.co.uk/Wholesale-services/Business-customers/Trade-effluent> or alternatively to Waste Water Quality, Crossness STW, Belvedere Road, Abbeywood, London. SE2 9AQ. Telephone: 020 3577 9200.

As per Building regulations part H paragraph 2.21, Drainage serving kitchens in commercial hot food premises should be fitted with a grease separator complying with BS EN 1825-:2004 and designed in accordance with BS EN 1825-2:2002 or other effective means of grease removal. Thames Water further recommend, in line with best practice for the disposal of Fats, Oils and Grease, the collection of waste oil by a contractor, particularly to recycle for the production of bio diesel. Failure to implement these recommendations may result in this and other properties suffering blocked drains, sewage flooding and pollution to local watercourses. Please refer to our website for further information : www.thameswater.co.uk/advice

3. Guidance for works in close proximity to Network Rail's infrastructure

The developer must ensure that their proposal, both during construction and after completion does not:

- encroach onto Network Rail land

- affect the safety, operation or integrity of the company's railway and its infrastructure
- undermine its support zone
- damage the company's infrastructure
- place additional load on cuttings
- adversely affect any railway land or structure
- over-sail or encroach upon the air-space of any Network Rail land
- cause to obstruct or interfere with any works or proposed works or Network Rail development both now and in the future

Network Rail strongly recommend the developer complies with the following comments and requirements to maintain the safe operation of the railway and protect Network Rail's infrastructure.

Future maintenance

The development must ensure any future maintenance can be conducted solely on the applicant's land. The applicant must ensure that any construction and subsequent maintenance can be carried out to any proposed buildings or structures without adversely affecting the safety of/or encroaching upon Network Rail's adjacent land and air-space. Therefore, any buildings should be situated at least 2 metres (3m for overhead lines and third rail) from Network Rail's boundary. Network Rail require the 2m (3m for overhead lines and third rail) stand off to allow for construction and future maintenance of a building and without requirement for access to the operational railway environment which may not necessarily be granted or if granted subject to railway site safety requirements and special provisions with all associated railway costs charged to the applicant. Any less than 2m (3m for overhead lines and third rail) and there is a strong possibility that the applicant (and any future resident) will need to utilise Network Rail land and air- space to facilitate works.

The applicant / resident would need to receive approval for such works from the Network Rail Asset Protection Engineer, the applicant / resident would need to submit the request at least 20 weeks before any works were due to commence on site and they would be liable for all costs (e.g. all possession costs, all site safety costs, all asset protection presence costs).

However, Network Rail is not required to grant permission for any third-party access to its land. No structure/building should be built hard-against Network

Rail's boundary as in this case there is an even higher probability of access to Network Rail land being required to undertake any construction / maintenance works. Equally any structure/building erected hard against the boundary with Network Rail will impact adversely upon our maintenance teams' ability to maintain our boundary fencing and boundary treatments.

Drainage

Storm/surface water must not be discharged onto Network Rail's property or into Network Rail's culverts or drains except by agreement with Network Rail. Suitable drainage or other works must be provided and maintained by the Developer to prevent surface water flows or run-off onto Network Rail's property. Proper provision must be made to accept and continue drainage discharging from Network Rail's property; full details to be submitted for approval to the Network Rail Asset Protection Engineer. Suitable foul drainage must be provided separate from Network Rail's existing drainage. Soakaways, as a means of storm/surface water disposal must not be constructed within 20 metres of Network Rail's boundary or at any point which could adversely affect the stability of Network Rail's property. After the completion and occupation of the development, any new or exacerbated problems attributable to the new development shall be investigated and remedied at the applicants' expense.

Plant & Materials

All operations, including the use of cranes or other mechanical plant working adjacent to Network Rail's property, must at all times be carried out in a "fail safe" manner such that in the event of mishandling, collapse or failure, no plant or materials are capable of falling within 3.0m of the boundary with Network Rail.

Scaffolding

Any scaffold which is to be constructed within 10 metres of the railway boundary fence must be erected in such a manner that at no time will any poles over-sail the railway and protective netting around such scaffold must be installed. The applicant/applicant's contractor must consider if they can undertake the works and associated scaffold/access for working at height within the footprint of their property boundary.

Piling

Where vibro-compaction/displacement piling plant is to be used in development, details of the use of such machinery and a method statement should be submitted for the approval of the Network Rail's Asset Protection Engineer prior to the commencement of works and the works shall only be carried out in accordance with the approved method statement.

Fencing

In view of the nature of the development, it is essential that the developer provide (at their own expense) and thereafter maintain a substantial, trespass proof fence along the development side of the existing boundary fence, to a minimum height of 1.8 metres. The 1.8m fencing should be adjacent to the railway boundary and the developer/applicant should make provision for its future maintenance and renewal without encroachment upon Network Rail land. Network Rail's existing fencing / wall must not be removed or damaged and at no point either during construction or after works are completed on site should the foundations of the fencing or wall or any embankment therein, be damaged, undermined or compromised in any way. Any vegetation on Network Rail land and within Network Rail's boundary must also not be disturbed. Any fencing installed by the applicant must not prevent Network Rail from maintaining its own fencing/boundary treatment.

Lighting

Any lighting associated with the development (including vehicle lights) must not interfere with the sighting of signalling apparatus and/or train drivers vision on approaching trains. The location and colour of lights must not give rise to the potential for confusion with the signalling arrangements on the railway. The developers should obtain Network Rail's Asset Protection Engineer's approval of their detailed proposals regarding lighting.

Noise and Vibration

The potential for any noise/vibration impacts caused by the proximity between the proposed development and any existing railway must be assessed in the context of the National Planning Policy Framework which hold relevant national guidance information. The current level of usage may be subject to change at any time without notification including increased frequency of trains, night time train running and heavy freight trains.

Vehicle Incursion

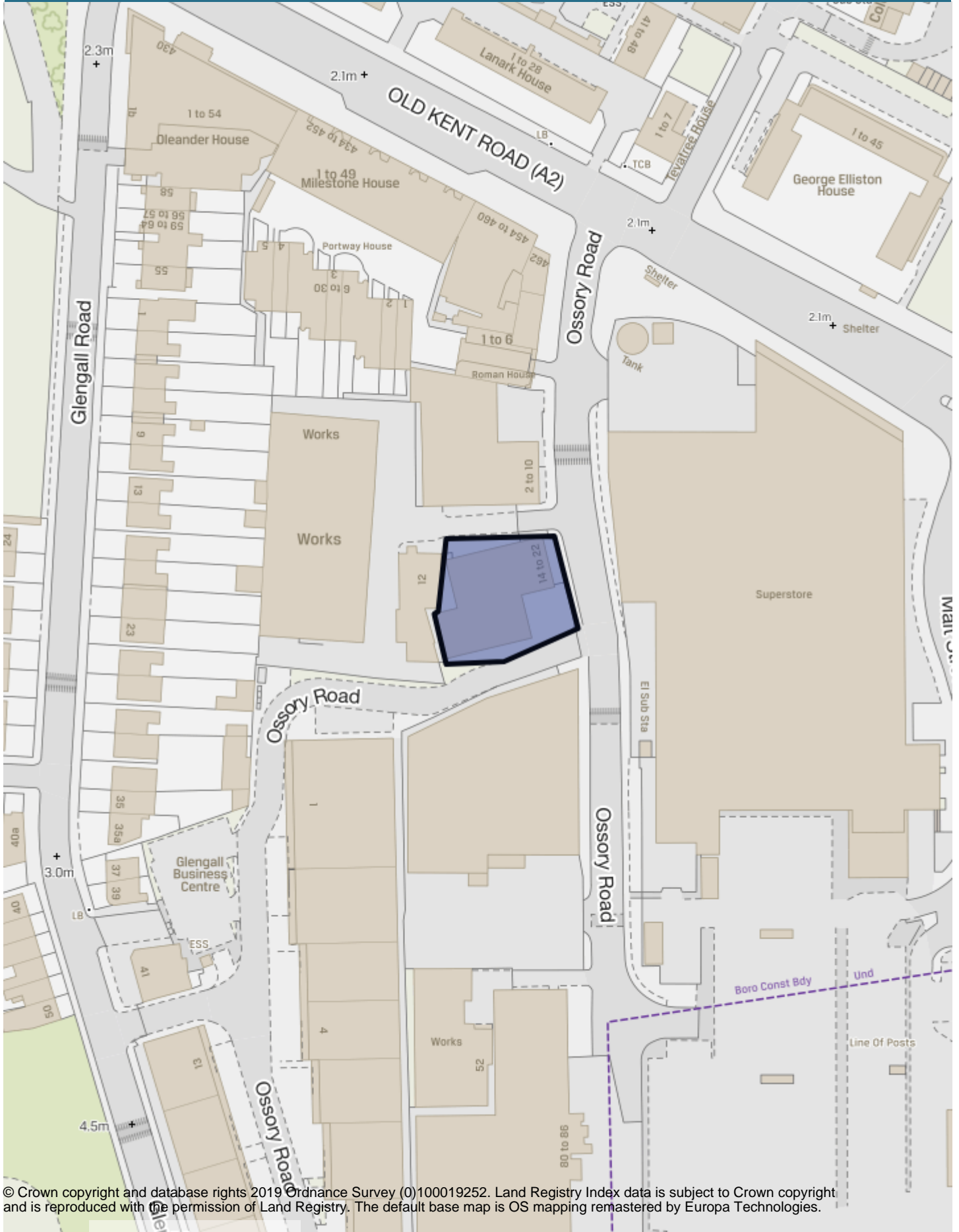
Where a proposal calls for hard standing area/parking of vehicles area near the boundary with the operational railway, Network Rail would recommend the installation of a highways approved vehicle incursion barrier or high kerbs to prevent vehicles accidentally driving or rolling onto the railway or damaging lineside fencing.

Landscaping

Where trees/shrubs are to be planted adjacent to the railway boundary these shrubs should be positioned at a minimum distance greater than their predicted mature height from the boundary. Certain broad leaf deciduous species should not be planted adjacent to the railway boundary as the species will contribute to leaf fall which will have a detrimental effect on the safety and operation of the railway. We would wish to be involved in the approval of any landscaping scheme adjacent to the railway. Where landscaping is proposed as part of an application adjacent to the railway it will be necessary for details of the landscaping to be known and approved to ensure it does not impact upon the railway infrastructure. Any hedge planted adjacent to Network Rail's boundary fencing for screening purposes should be so placed that when fully grown it does not damage the fencing or provide a means of scaling it. No hedge should prevent Network Rail from maintaining its boundary fencing. Lists of trees that are permitted and those that are not permitted are provided below and these should be added to any tree planting conditions:

Permitted: Birch (*Betula*), Crab Apple (*Malus Sylvestris*), Field Maple (*Acer Campestre*), Bird Cherry (*Prunus Padus*), Wild Pear (*Pyrs Communis*), Fir Trees - Pines (*Pinus*), Hawthorne (*Cretaegus*), Mountain Ash - Whitebeams (*Sorbus*), False Acacia (*Robinia*), Willow Shrubs (Shrubby *Salix*), Thuja Plicatat "Zebrina"

Not Permitted: Alder (*Alnus Glutinosa*), Aspen - Poplar (*Populus*), Beech (*Fagus Sylvatica*), Wild Cherry (*Prunus Avium*), Hornbeam (*Carpinus Betulus*), Small-leaved Lime (*Tilia Cordata*), Oak (*Quercus*), Willows (*Salix Willow*), Sycamore - Norway Maple (*Acer*), Horse Chestnut (*Aesculus Hippocastanum*), Sweet Chestnut (*Castanea Sativa*), London Plane (*Platanus Hispanica*).



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|------------------------------------|---|---------------------------------|--|
| Item No. 6.2 | Classification: Open | Date: 1 December 2020 | Meeting Name: Planning Committee |
| Report title: | Development Management planning application: Application 19/AP/7610 for: FULL PLANNING APPLICATION Address: 14-22 OSSORY ROAD, LONDON SE1 5AN Proposal: Demolition of the existing building and redevelopment of the site to deliver a building of part 10 part 11 storeys (43.2m AOD) comprising 1,438 sqm of light industrial floorspace across the basement, ground, and first floors; 71 residential units (35.38% by habitable rooms) across the upper floors; and associated outdoor communal amenity space, disabled car parking, cycle storage, refuse storage, and landscaping. This application represents a departure from strategic policy 10 'Jobs and Businesses' of the Core Strategy (2011) and Saved Policy 1.2 'Strategic and Local Preferred Industrial Locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location. | | |
| Ward(s) or groups affected: | Old Kent Road | | |
| From: | Director of Planning | | |
| Application Start Date | 18/12/2019 | Application Expiry Date | 18/03/2020 |
| Earliest Decision Date | 11/03/2020 | | |

RECOMMENDATION

1.
 - a) That planning permission is granted, subject to conditions and referral to the Mayor of London, and the applicant entering into an appropriate legal agreement by no later than 1 June 2021.
 - b) That the environmental information be taken into account as required by Regulation 30 of the Town and Country Planning (Environmental Impact Assessments) Regulations 2017.
 - c) That following issue of the decision it be confirmed that the director of planning shall place a statement on the Statutory Register pursuant to Regulation 30 of the Town and Country Planning (Environmental Impact Assessments) Regulations and that for the purposes of Regulation 30(1)

(d) the main reasons and considerations on which the Local Planning Authority's decision is based shall be set out as in this report.

- d) In the event that the requirements of (a) are not met by 1 June 2021 that the director of planning be authorised to refuse planning permission, if appropriate, for the reasons set out at paragraph 238 of this report.

EXECUTIVE SUMMARY

Site location of 14-22 Ossory Road:



Existing land use (Paragraph 2)

- 0.12 Hectare two storey building occupied by a tool and equipment hire company (The Hireman) across 1,242 sqm of light industrial floorspace

Proposed Development (Paragraphs 9 - 15)

Industrial:

1,438sqm of industrial floorspace across the basement, ground, and first floors.

Residential:

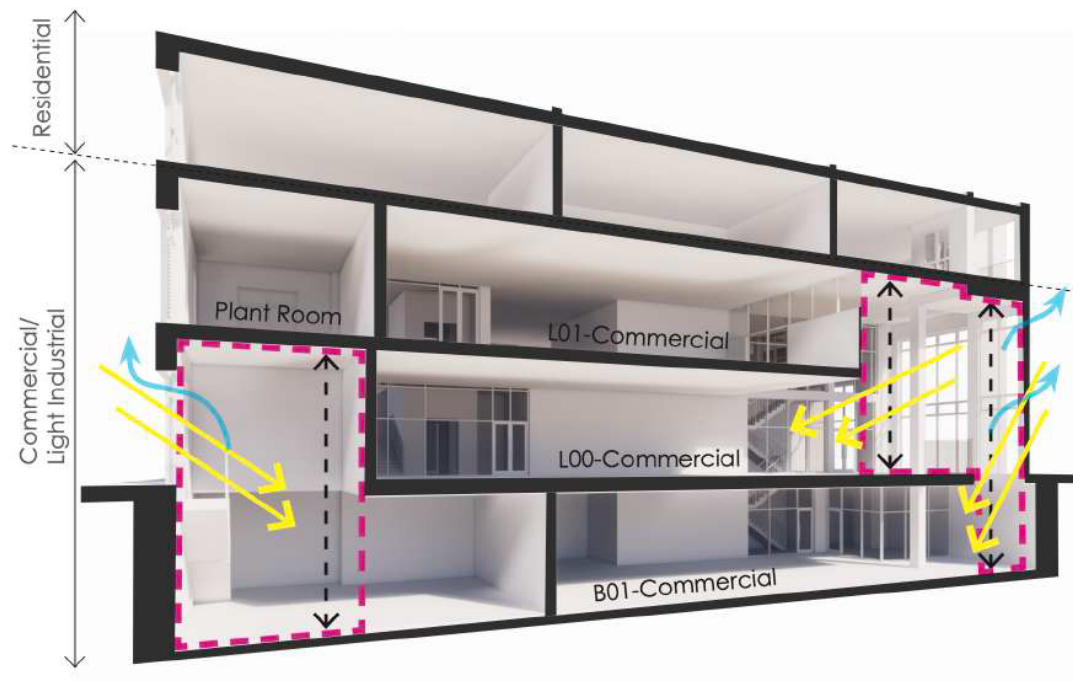
| | <u>1</u> <u>Bed</u> | <u>2</u> <u>Bed</u> | <u>2</u> <u>Bed</u> <u>WCH</u> | <u>3</u> <u>Bed</u> | <u>4</u> <u>Bed</u> | <u>Total</u> | <u>Total</u> <u>Hab</u> <u>Room</u> <u>s</u> | <u>% by</u> <u>Hab</u> <u>Rooms</u> |
|---------------------|------------------------|------------------------|--------------------------------------|------------------------|------------------------|--------------|---|---|
| <u>Social Units</u> | <u>2</u> | <u>4</u> | <u>2</u> | <u>4</u> | <u>2</u> | <u>14</u> | <u>50</u> | <u>25.64%</u> |
| <u>Intermediate</u> | <u>3</u> | <u>2</u> | <u>1</u> | <u>1</u> | <u>0</u> | <u>7</u> | <u>19</u> | <u>9.74%</u> |

| | | | | | | | | |
|------------------------|------------|------------|------------|------------|-----------|-------------|------------|---------------|
| <u>Units</u> | | | | | | | | |
| <u>Private Units</u> | <u>28</u> | <u>13</u> | <u>5</u> | <u>4</u> | <u>0</u> | <u>50</u> | <u>126</u> | <u>64.62%</u> |
| <u>Total Units</u> | <u>33</u> | <u>19</u> | <u>8</u> | <u>9</u> | <u>2</u> | <u>71</u> | = | = |
| <u>% by Units</u> | <u>46%</u> | <u>27%</u> | <u>11%</u> | <u>13%</u> | <u>3%</u> | <u>100%</u> | = | = |
| <u>Total Hab Rooms</u> | <u>66</u> | <u>57</u> | <u>24</u> | <u>36</u> | <u>12</u> | = | <u>195</u> | <u>100%</u> |

Height:

- One building of part 10 part 11 storeys 43.2m AOD, with a partial double height basement and ground floor

Image: Section through of double height basement and ground floor

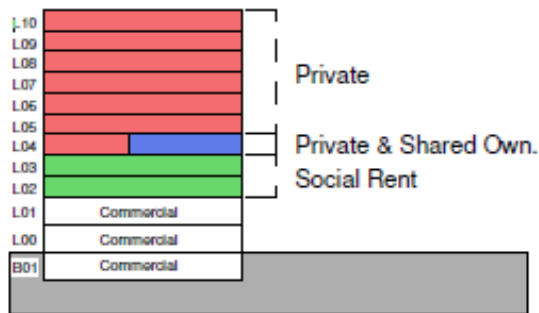


Affordable Housing (Paragraphs 53-64):

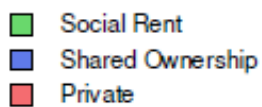
- 35.38% affordable by habitable rooms
- Two 4 bed units included in social rent

| Market | | Social Rented | | Intermediate | |
|--------|----|---------------|----|--------------|---|
| 1 Bed | 28 | 1 Bed | 2 | 1 Bed | 3 |
| 2 Bed | 18 | 2 Bed | 6 | 2 Bed | 3 |
| 3 Bed | 4 | 3 Bed | 4 | 3 Bed | 1 |
| 4 Bed | 0 | 4 Bed | 2 | 4 Bed | 0 |
| | | | | | |
| | 50 | | 14 | | 7 |

Habitable Rooms by Tenure and Tenure mix (Paragraphs 109-112):



Key Section



Residential Design – Dual Aspect and Accessibility (Paragraphs 113-126):

Dual aspect:

- 48% single aspect (34 units)
- 41% dual aspect (29 units)
- 11% triple aspect (8 flats)
- There are no north facing single aspect units

Accessibility:

- Eight flats are designed as wheelchair accessible dwellings in accordance with

- Approved Document M4(3) (11%).
- All other residential units designed as accessible and adaptable dwellings in accordance with Approved Document M4(2).

Amenity Space and Children’s play space (Paragraphs 127-150):

| Type of space | Requirement | Proposed | Total |
|-----------------|-------------|---|---------|
| Private | 710 sqm | 588 sqm (shortfall provided as communal space) | 850 sqm |
| Communal | 50 sqm | 117 sqm on 10th floor terrace and 145 sqm on 11th floor terrace totalling 262 sqm | |
| 0-4 years play | 91 sqm | 120 sqm | 284 sqm |
| 5-11 years play | 71 sqm | 95 sqm | |
| 12+ years play | 51 sqm | 69 sqm | |

Sustainability:

Energy (Paragraphs 222-229)

- A ‘Lean, Clean, Green’ has been adopted and the development achieves an overall improvement in regulated emissions at over 71.49% above Part L 2013 standard for the residential aspect of the development.
- A carbon off-set payment of £29,016.00 for this major scheme will meet with London Plan “Zero Carbon” requirements for both the residential and commercial elements.

Car and Cycle Parking (Paragraphs 191-193 & 197-199)

Commercial car parking:

- None

Commercial cycle parking:

- 8 long stay spaces
- 8 short stay spaces

Residential car parking:

- Car free
- 2 disabled spaces

Residential cycle parking:

- 126 long stay spaces
- 8 short stay spaces

- A loading bay for deliveries is proposed along Ossory Road.

Proposed development viewed from surrounding area





BACKGROUND INFORMATION

Site location and description

2. The subject site measures 0.12 Hectares and currently comprises a large warehouse occupied by a tool and equipment hire company (The Hireman) on the western side of Ossory Road. The existing building is a warehouse that extends to 1,242sqm across two floors with a loading bay and gated yard at the southern corner with Ossory Road, accessed from the street via a dropped kerb. The existing pedestrian access to the site is via a main entrance on Ossory Road. Vehicular access is from the south western corner of the site. Ossory Road does not have any parking restrictions.
3. The immediate surrounding area is predominantly industrial and commercial in character, made up of large warehouse units. To the north of the site is a car dealership, which is being promoted for development by housing provider Pocket Living. To the south is an electrical supplies wholesaler, to the east across Ossory Road is a large retail unit occupied by Asda, and to the west is a former glass bottling factory, currently used as creative workspace. The two roads that bound the site along the north and south of the building are privately owned roads; however the applicant has rights of access for the road to the north enabling access into the site itself.
4. The wider surrounding area is mixed in character. The direct neighbours are predominantly commercial at ground floor comprising low rise, large scale warehouse units, however beyond the immediate neighbouring sites to the west there is a terrace of two storey townhouses along Glengall Road. The site is within the vicinity of several statutorily listed buildings, including thirteen Grade II listed townhouses (nos. 11-35) along Glengall Road, these are approximately 70 metres from the site. The site is also within the vicinity of

nos 1-9 Glengall Terrace a Grade II listed terrace, approximately 122 metres from the site. The site itself is not within the conservation area, but it is within the setting of Glengall Road Conservation Area to the west. The site immediately abuts the boundary of the access road between the subject site and no. 2-10 Ossory Road to the north.

5. As mentioned above, the subject site is not within a conservation area, nor is it identified as a listed building. The following designations apply to the subject site

- Old Kent Road Preferred Industrial Location
- Bermondsey Lake Archaeological Priority Zone
- Urban Density Zone
- Air Quality Management Area
- Old Kent Road Action Area

Image: site plan



6. The site has a PTAL rating of 3 and is a two-minute walk from Old Kent Road where there are a number of bus routes providing direct connections the wider area. South Bermondsey Station is the closest tube station, located approximately a 20-minute walk from the site. The Bakerloo Line Extension (BLE) when constructed will bring two new Underground Stations to the area; one in the general vicinity of the Tesco supermarket approximately 0.65 kilometres from the site, roughly an 8 minute walk, and the other in proximity to junction of the Old Kent Road and Asylum Road. As such, the transport accessibility level at the site is expected to increase significantly over time.
7. The subject site is located within Sub Area 2 (Cantium Retail Park and Marlborough Grove) and specifically Site Allocation OKR 10 of the draft Old Kent Road Area Action Plan (OKR AAP). The OKR 10 allocation has a total site area of 11.1 hectares with an indicative capacity for the creation of 4,200 new homes and 3,100 new jobs. It is the intention of this allocation to replace existing employment floor space with light industrial space whilst also

providing residential and mixed use schemes.

8. The table below demonstrates the existing area schedule on the application site.

Table: Existing area schedule

| | |
|-----------|------------------|
| Occupier | The Hireman |
| Use Class | Light industrial |
| Sqm (GIA) | 1,242 |

Details of proposal

9. The proposed development is for the demolition of the existing warehouse to construct a part 10, part 11 storey building with the 11 storey element fronting Ossory Road and stepping down to 10 storeys at the rear towards the backs of the Glengall Road residential properties. The building footprint is a regular shape, nearly reaching the extent of the site boundaries and following the curved pavement line along Ossory Road. A basement level is proposed that would provide floorspace for light industrial provision. This use is also proposed for the ground and first floors of the development for total of 1,438.2 sqm of light industrial floorspace. The upper floors of the development would provide 71 residential units.
10. Of the 1,438.2 sqm of light industrial floorspace proposed, 69 sqm is considered as ancillary floorspace being a proportion of the areas within the building that are shared between the industrial and residential uses. These comprise the plant room at basement level, the parking and servicing area at ground floor along the northern boundary of the site and the additional plant rooms at first floor level. The proposal will increase the quantum of industrial floorspace on site by 196 sqm.
11. The residential component of the scheme would provide 71 new residential units comprising of studio apartments, 1 bed, 2 bed, 3 bed and 4 bed units within the provision. 8 residential units (10%) are proposed to be Part M4(3) compliance wheelchair accessible dwellings. The proposal would provide 35.38% affordable housing by habitable rooms within the scheme comprising 72.46% Social Rent at no more than HCA rent cap levels inclusive of service charge and 27.54% for Shared Ownership. Whilst studio units are proposed, this does not form part of the social and intermediate units. The following table demonstrates the housing mix that is proposed for the development.

Table: Housing mix

| Unit size | No. of homes | % of homes |
|-----------|--------------|------------|
| Studio | 3 | 4% |
| 1 bed | 30 | 42% |
| 2 bed | 27 | 38% |
| 3 bed | 9 | 13% |
| 4 bed | 2 | 3% |
| Total | 71 | 100% |

12. All the residential units will have their own outdoor private amenity space in the form of balconies. A 546 sqm area of outdoor space is also proposed for residents on the roofs at 10th and 11th floor. These areas provide 284 sqm of children's play area to be split between all age groups on the 11th floor. Landscaping is proposed on the two roofs of the building, at 10th and 11th floor, accessed via both the staircases and lifts which provides 262 sqm of communal amenity space. These communal amenity areas have been designed using timber decking and concrete pavers, as well as soft landscaping in the form of trees, shrubs, grasses, herbaceous and ornamental grass mixes.
13. The development is proposed to be car free with two disabled parking spaces located at the north of the site, accessed from the private access road off Ossory Road. Both of these parking spaces will be provided with active electric charging points. This parking area is also proposed to perform the dual function of being a servicing and delivery bay for the industrial floorspace and residential units. The existing vehicular access to the site including the dropped kerb will be removed and re-instated as a continuous footway on Ossory Road.
14. A total 134 cycle parking spaces are proposed for the residential units. These are long stay, covered and accessible spaces. Of the 134 spaces, 120 of these will be located in the basement as the residential cycle store. 6 long stay cycle parking spaces are located on the ground floor to accommodate larger cycles and 8 short stay cycle parking spaces are proposed along the perimeter of the site. A total of 16 cycle parking spaces are proposed for the commercial floorspace, 8 short stay and 8 long stay, these will be located at a ground floor cycle store near to the disabled car parking bays.
15. The separate refuse and recycling collection for the residential and commercial space will take place on-street on the private road to the north of the site, accessed from Ossory Road. As the development encompasses most of the parcel of land, the public realm improvements involve the enhancement

of the existing footpath as well as the planting of street trees.

Table: Proposed land uses

| Land Use | Use Class | GIA |
|-------------|------------------|---|
| Residential | C3 | 4,607.70 sqm |
| Industrial | Light Industrial | 1,369 sqm 69.2 sqm ancillary plant and equipment |

Revisions and Amendments

16. Whilst no design or alterations to the total number of residential units has occurred during the lifespan of this application, additional information regarding some areas of assessment was submitted.
17. The documents of additional information submitted during the course of this application were as follows:
 - Revised drainage strategy
 - Changes to communal amenity and play space to provide 12+ play space
 - Transient overshadowing document
 - Revised Affordable Housing offer to increase the number of social rented units
 - Following findings from the fire report a minor change to the location of one of the windows in three of the flat types (type 10, 22 and 23) is proposed. The windows were too close to the western site boundary which would require them to be unopenable and fire rated. By moving them to the northern wall, they can remain openable.

KEY ISSUES FOR CONSIDERATION

Summary of main issues

18. The main issues to be considered in respect of this application are:
 - The principle of the proposed development in terms of land use and the release of the site from its industrial designation;
 - Affordable housing;
 - Design, layout, heritage assets and tall buildings including views;
 - Public realm, landscaping and trees;
 - Housing mix including wheelchair housing;
 - Quality of accommodation;
 - Density;

- Impact of proposed development on amenity of adjoining occupiers and surrounding area;
- Transport;
- Noise and vibration;
- Sustainable development implications;
- Ecology;
- Air quality;
- Wind microclimate;
- Equalities and human rights;
- Statement of community involvement.

Legal context

19. Section 38(6) of the Planning and Compulsory Purchase Act (2004) requires planning applications to be determined in accordance with the development plan, unless material considerations indicate otherwise. In this instance the development plan comprises the London Plan 2016, the Core Strategy 2011, and the Saved Southwark Plan 2007.
20. There are also specific statutory duties in respect of the Public Sector Equalities Duty which are highlighted in the relevant sections in the overall assessment at the end of the report.

EQUALITIES

21. The Equality Act (2010) provides protection from discrimination for the following protected characteristics: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership. Section 149 of the Equality Act 2010 places the Local Planning Authority under a legal duty to have due regard to the advancement of equality in the exercise of its powers, including planning powers. Officers have taken this into account in the assessment of this application and Members must be mindful of this duty, inter alia, when determining all planning applications. In particular Members must pay due regard to the need to:
 - Eliminate discrimination, harassment, victimisation and any other conduct that is prohibited by or under the Equality Act; and
 - Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it; and
 - Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.
22. As set out in the Essential Guide to the Public Sector Equality Duty (2014), “the duty is on the decision maker personally in terms of what he or she knew and took into account. A decision maker cannot be assumed to know what was in the minds of his or her officials giving advice on the decision”. A public authority must have sufficient evidence in which to base consideration of the impact of a decision.

23. There is a Travellers site 280m to the south at the junction of Glengall Road and Latona Road. Given the separation distance it is considered that there would be no adverse impacts on the traveller's site. There is a church used primarily by the BAME community at the junction of Ossory Road and Old Kent Road. Whilst this is closer to the site it is not considered that the design of the building or its uses would adversely effect the operation of the church. There are no other groups with protected characteristics that would be adversely affected by the development.

Other Equality Impacts

24. The Strategic Housing Market Assessment (SHMA) prepared on behalf of a number of South East London boroughs states that Southwark, together with Lewisham, has the most ethnically mixed population in the South East London sub-region. Compared to the population at large a very high proportion of Black households (70%) are housed in the social/affordable rented sector. These groups could therefore stand to benefit from the proposed affordable housing, which would include social rented units. The provision of communal amenity spaces to be shared by different tenures would also contribute to the potential for increased social cohesion. This is a positive aspect of the scheme.
25. Proposed enhancements to the streetscene of Ossory Road (Including the widening of the footpath) would prioritise the movement of pedestrians and promote "healthier, active lives" in accordance with draft Policy AAP 10 of the draft OKR AAP.
26. The proposed development would also generate additional opportunities for local employment. The proposed development would deliver 1,438 sqm (GIA) of light industrial and ancillary floor space at the basement, ground and first floor. This results in uplift from the previous 1,242 sqm of light industrial floor space currently on site. Furthermore, 10% of the light industrial space will be provided for Affordable Workspace which can accommodate various types of light industrial opportunities on site.

Conclusion on Equality Impacts

27. The proposed development would not result in any adverse equality impacts in relation to the protected characteristics of religion or belief and race as a result of the re-provision and uplift of light industrial floor space on site along with the introduction of residential C3 Use Class. Notwithstanding that the development would result in a significant change to the site, Officers are satisfied that equality implications have been carefully considered throughout the planning process and that Members have sufficient information available to them to have due regard to the equality impacts of the proposal as required by Section 149 of the Equality Act 2010 in determining whether planning permission should be granted.
28. The proposed development would undoubtedly result in a significant change

to the site. The public sector equality duty does not prevent change but it is important that the Council consider the acceptability of the change with a careful eye on the equality implications of that change given its duty under Section 149 of the Equality Act 2010. The Council's duty is to have due regard to the objectives identified above when making its decision. In the present context, this means focusing carefully on how the proposed change would affect those with protected characteristics and ensuring that their interests are protected and equality objectives promoted as far as possible.

PRINCIPLE OF DEVELOPMENT IN TERMS OF LAND USE

29. The NPPF (2019) offers a number of key principles that emphasise a focus on driving and supporting sustainable economic development to facilitate the delivery of new homes and commercial business units etc. The application site is located within the Old Kent Road Opportunity Area. In locations such as this, both London Plan and Southwark Plan policies strive for higher density, high quality mixed use developments which assist in addressing the need for new homes and ranges of employment opportunities.
30. In the draft OKR AAP, the site is identified as falling within Proposal Site OKR 10. The draft site allocation states that redevelopment on this site must:
 - Development must replace existing employment floorspace (B use class) and provide a range of employment spaces
 - Figure SA 2.3 (Page 92 of the OKR AAP identifies 14-22 Ossory Road as a site that is suitable for small industrial units with light industrial uses and marker spaces.
 - Basement levels should be utilised to accommodate residential servicing, storage or commercial uses where appropriate.
31. The existing use is not considered to maximise the potential of this Opportunity Area Proposal Site. The proposed re-development of the site would provide an uplift of B1c Industrial space, the introduction of 71 residential units on the upper floors of the building would deliver major regeneration benefits that are further discussed in the proceeding parts of this report.

Image: OKR Site Allocation OKR 10, site identified by yellow X



Image: Typologies map of OKR 10



Industrial land

32. The site is designated as Preferred Industrial Location-Strategic and Strategic

Industrial Land (SIL) in current adopted Policy. It is noted that in view of policy changes at local level the Draft New Southwark Plan proposes the re-designation of the site as Locally Significant Industrial Site. Notwithstanding this acknowledgment, the application will be assessed against current adopted policy. Strategic Policy 10 of the Core Strategy states that SIL will be protected for industrial and warehousing uses. Saved Southwark Plan Policy 1.2 states that the only land uses that will be permitted in SIL are B class uses and other sui generis uses which would be inappropriate in residential areas. This proposal represents a departure from these policies by proposing residential use within SIL.

33. The Core Strategy does however also recognise that structural changes in the economy are resulting in a declining need for industrial land in London and that diversifying the range of job opportunities in industrial locations can be of benefit to local people. Furthermore, it also sets out the future direction of the Old Kent Road as a growth and regeneration action area, subject to a future area action plan (AAP).
34. Adopted London Plan (2017) Policy 2.17 seeks to promote, manage and where appropriate, protect SIL as London's main reservoir of industrial and related capacity, which includes general and light industrial uses. It states that developments on SIL should be refused unless they:
 - Provide for broad industrial type activities;
 - Are part of a strategically co-ordinated process of SIL consolidation through an opportunity area planning framework;
 - Meet the needs of small to medium sized enterprises.
35. The adopted London Plan (2017) also designates the Old Kent Road as an Opportunity Area, with an indicative capacity of 1,000 new jobs and a minimum of 2,500 new homes. This capacity has been increased to a minimum of 12,000 new homes in the emerging new London Plan. Both adopted and new London Plan identify the potential for residential-led development along the Old Kent Road corridor, with homes and jobs targets to be explored and further refined through the preparation of a planning framework and a review of the Old Kent Road SIL.
36. Furthermore, the draft OKR AAP sets targets of 20,000 new homes and 10,000 new jobs, to be supported by new infrastructure, including parks and schools. It proposes the release of a substantial part of the Strategic and local Preferred Industrial Location designation to allow for the creation of mixed use neighbourhoods where new and existing businesses would co-exist with new homes.
37. Paragraph 48 of the NPPF (2019) states that weight can be afforded to relevant policies in emerging plans depending on the stage of preparation of the plan. The New Southwark Plan and draft OKR AAP have been subject to extensive consultation however they have yet to be subject to independent examination and therefore the documents have limited weight. They do, however, provide an indication of the direction of travel for planning policy in

the opportunity area.

38. Taking into account the adopted policy position, when determining whether the principle of the proposed development would be acceptable in land use terms, Members need to consider whether the wider regeneration benefits of the scheme would outweigh any harm caused by the loss of SIL and the introduction of a residential use into SIL, and whether those benefits would justify a departure from adopted planning policy.

Employment re-provision (no net loss)

39. As part of business consolidation strategy, the functions of The Hireman site are being relocated to its existing premises in Croydon.. The Secretary of State has directed that the New London Plan removes the requirement for no nett loss of industrial floorspace. However, the draft AAP seeks to ensure that industrial floorspace should be re-provided at a rate equivalent to the existing floorspace and where possible deliver an increase in employment capacity.
40. The existing provision of light industrial floor space on the site comprises 1,242 sqm. The proposed development would accommodate 1,369 sqm of B1c floor space at basement, ground and first floor levels with 69 sqm of ancillary plant and equipment located at basement level for a total of 1,438 sqm of light industrial floorspace.
41. The commercial aspect of the development has been designed to be flexible to enable 10% of the provision to be provided as Affordable Workspace in accordance with draft OKR AAP Policy 6, which states that development must provide an element of affordable workspace on sites that provide over 500 sqm of commercial floorspace. The applicant is in discussions with a specialist workspace provider for creative enterprises to secure the 10% provision of affordable workspace. The commercial aspect of the scheme would result in an uplift of light industrial floor space, and the creation of affordable workspace in line with the requirements of the emerging New Southwark Plan and AAP.
42. An additional benefit to the scheme is that the proposed light industrial floor space is the floor to ceiling height. Building typologies and land uses within OKR 10 should provide double height spaces of 6 to 8 metres in height for commercial uses. The proposed scheme would provide height space to the southern side of the ground and first floors of at least 3.5 metres. The flexibility of the light industrial floor space in order to accommodate a variety of potential occupiers is considered to be a positive aspect of this proposal.

Image: Ground floor layout

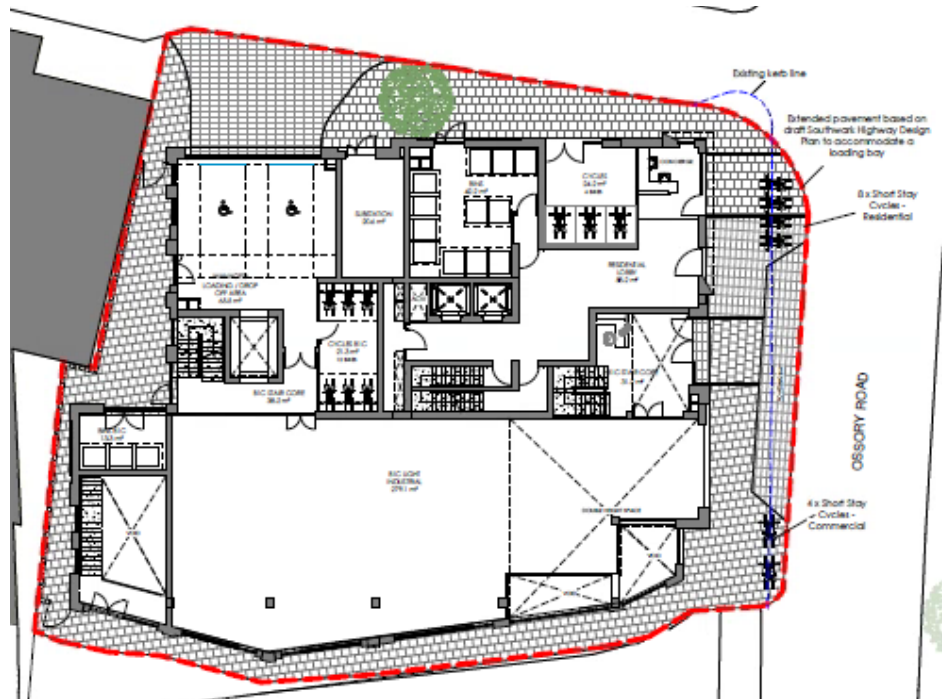


Image: First floor layout

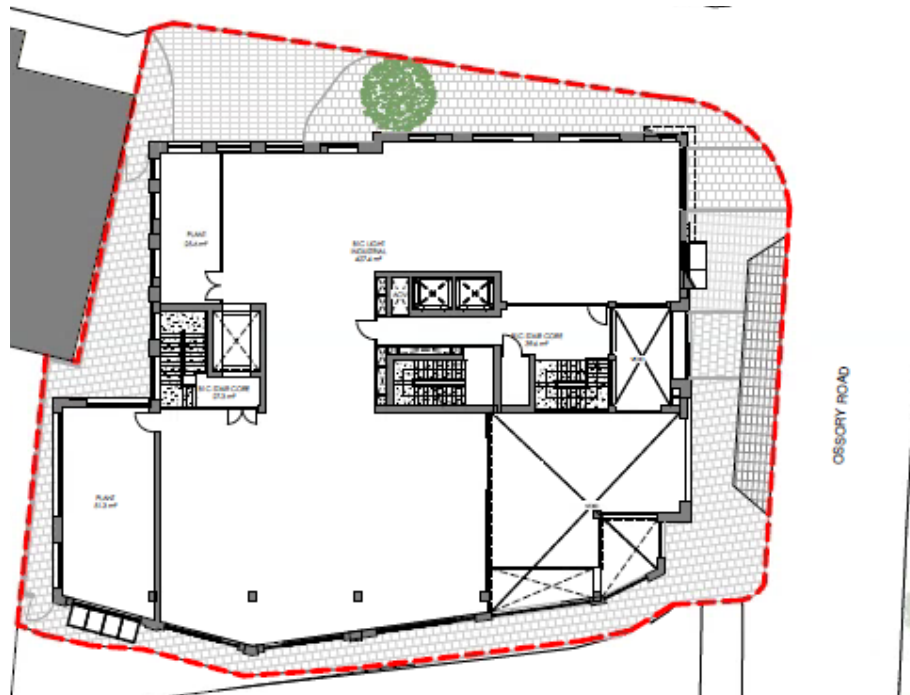
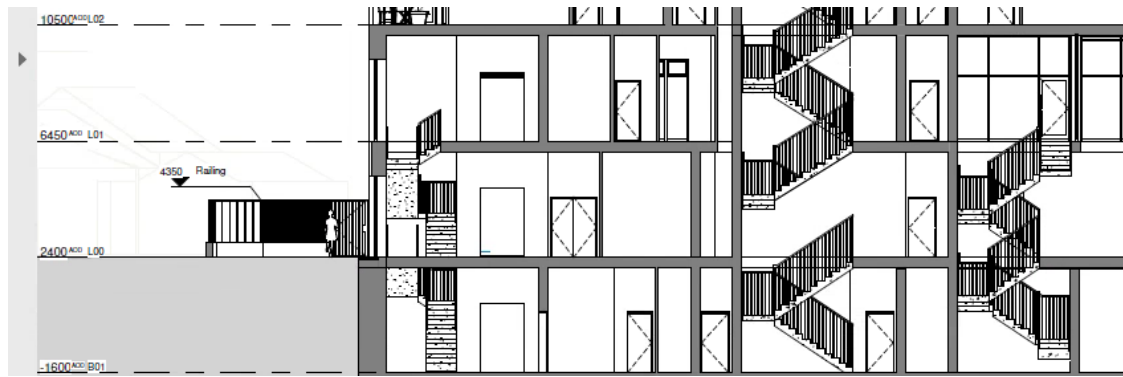


Image: Floor to ceiling heights of ground and first floors



Job Creation

43. The development provides uplift in employment space, and is expected to deliver 17 sustained jobs to unemployed Southwark residents, 17 short courses, and take on four construction industry apprentices during the construction phase, or meet the Employment and Training Contribution. In addition to this, the provision of 10% of the employment floor space for Affordable Workspace is welcomed.

Affordable Workspace

44. Policy P28 (affordable workspace) includes a requirement for development proposing over 500sqm of employment space to include 10% of the proposed gross new employment floor space as affordable workspace on site. The affordable workspace should be secured for at least 30 years, respond to local demand and prioritise existing businesses. In terms of affordable workspace, the applicant is in advanced discussions with a specialist workspace provider for creative enterprises, regarding the potential for the enterprise to be located within the scheme and acquire at least 10% of the light industrial floorspace in line with policy recommendations.
45. All training commitments would be secured through the Section 106 agreement. If any of these expectations were not to be achieved, financial contributions would be sought in accordance with the Council's Planning Obligations and CIL SPD. An Employment, Skills and Business Support Plan would also be secured through the Section 106 Agreement.

Assessment of Main Town Centre Uses

46. The subject site is designated within the New Southwark Plan (NSP) as being part of the Old Kent Road South District Town Centre. In acknowledging that the NSP is progressing to the Examination in Public (EiP) stage, the development would support the future aspirations of the Town Centre given that it would introduce new commercial floorspace and housing within the new town centre.

Provision of Housing, Including Affordable Housing

47. The scheme would deliver 71 new homes, including policy compliant affordable housing 35.38% by habitable rooms. This is a significant positive aspect of the scheme. There is a pressing need for housing in the borough. Policy 3.3 of the London Plan supports the provision of a range of housing and sets the borough a target of 27,362 new homes between 2015 and 2025. This is reinforced through Strategic Policy 5 of the Core Strategy and emerging policy in the draft new London Plan, NSP and draft OKR AAP.

Prematurity

48. Legal Advice received in relation to this issue highlights the following from the National Planning Policy Guidance:
49. “arguments that an application is premature are unlikely to justify a refusal of planning permission other than where it is clear that the adverse impacts of granting permission would significantly and demonstrably outweigh the benefits, taking the policies in the Framework and any other material considerations into account. Such circumstances are likely, but not exclusively, to be limited to situations where both:
- a) the development proposed is so substantial, or its cumulative effect would be so significant, that to grant permission would undermine the plan-making process by predetermining decisions about the scale, location or phasing of new development that are central to an emerging Local Plan or neighbourhood planning; and
 - b) the emerging plan is at an advanced stage but is not yet formally part of the development plan for the area.
50. Refusal of planning permission on grounds of prematurity would seldom be justified where a draft Local Plan has yet to be submitted for examination, or in the case of a Neighbourhood Plan, before the end of the local planning authority publicity period. Where planning permission is refused on grounds of prematurity, the local planning authority will need to indicate clearly how the grant of permission for the development concerned would prejudice the outcome of the plan-making process.”
51. The most up to date adopted development plan document pertinent to the Old Kent Road is the 2016 London Plan. This identifies the Old Kent Road Opportunity Area as having significant potential for housing led growth. The draft OKR AAP has been developed in response to this adopted plan and has also sought to address the emerging policy position of the draft New London Plan including the increased housing target for the opportunity area and the need to ensure that the draft New London Plan aspirations for industrial land and employment are addressed. The scheme under consideration here is not considered to undermine either the strategic or local plan making process, and reflects the adopted statutory development plan position of the 2016 London Plan and the direction of travel of the draft NSP and the 2016 and 2017 draft OKR AAPs and the 2018 draft New London Plan (including changes proposed by the Secretary of State in 2020). It is not therefore considered to be

premature.

Conclusion on Land Use

52. The scheme would deliver major regeneration benefits, including a significant contribution to the borough's housing stock, a policy compliant level of affordable housing, job creation, high quality light industrial and affordable workspace. In light of the above, it is considered that the development, in land use terms, is acceptable, and its contribution to Ossory Road and surrounding area should be supported.

AFFORDABLE HOUSING AND DEVELOPMENT VIABILITY

Affordable Housing

53. In summary, the proposed scheme would deliver 21 affordable homes to the borough's housing stock. When calculated as habitable rooms, this represents a policy compliant 35.38% affordable housing offer. In line with draft New Southwark Plan Policy P1, 25.64% of the all proposed habitable rooms would be for social rent (at least 25% is required by policy), and 9.74% would be in intermediate tenure.
54. Southwark Plan Saved Policy 4.4 requires at least 35% of all new housing to be provided as affordable housing. Of that 35%, there is a requirement for 50% social housing and 50% intermediate housing in the Old Kent Road Action Area. The adopted London Plan (2016) sets a strategic requirement of 60% social housing and 40% intermediate housing. Emerging New Southwark Plan Policy P1 sets a requirement for a minimum of 25% of all the housing to be provided as social rented and a minimum of 10% as intermediate housing.
55. The requirement for social housing set out in the New Southwark Plan is higher than the London Plan and the saved Southwark Plan policy given the acute need for social housing in Southwark. Approximately 57% of the borough's total affordable housing need is for intermediate housing to meet the housing needs of lower and middle income residents. However, the most acute affordable housing need is for social rented housing to meet the needs of homeless households living in unsuitable temporary accommodation such as bed and breakfasts or overcrowded conditions. Overcrowding is strongly related to poor physical and mental health and can strain family relationships. Children in overcrowded homes often achieve poorly at school and suffer disturbed sleep. Social rented housing is vital to social regeneration as it allows residents who cannot afford suitable market housing to remain close to their families, friends and employment. For this reason draft Policy P1 of the New Southwark Plan requires a minimum 25% of homes to be provided as social rented housing, which the proposed development complies with.
56. In accordance with the council's Affordable Housing SPD, rooms that are over 28 sqm have been counted twice for the purposes of calculating affordable housing. This accounts for large open plan living room spaces that include kitchens and dining areas.

57. In total, 195 habitable rooms would be provided. 69 of these would be affordable habitable rooms, which would equate to an overall provision of 35.38% and is therefore fully policy compliant and a very positive aspect of the scheme. Viability information has been submitted which supports the delivery of the quantum of affordable housing proposed.
58. With regard to tenure split, out of the total 195 habitable rooms, 50 would be social rented (25.64%), 19 would be intermediate (9.74%). This exceeds the requirement for 25% of habitable rooms to be social rented.

Table: Tenure Split

| Tenure | Habitable Rooms | | Units | |
|---------------|-----------------|--------|-------|--------|
| | No. | % | No. | % |
| Private | 126 | 64.62% | 50 | 70.42% |
| Social rented | 50 | 25.64% | 14 | 19.72% |
| Intermediate | 19 | 9.74% | 7 | 9.86% |
| Total | 195 | | 71 | |

59. All 14 social rented homes would be delivered on the second and third floor units within the development. The intermediate units would be provided through the seven of eight units proposed on the fourth floor of the scheme. The remaining 50 homes will be in the private tenure and located as the eighth unit on the fourth floor, and all of the units above the fourth floor. The Section 106 Legal Agreement would secure the delivery of these units.
60. As with all Old Kent Road schemes, service charge costs to social rent tenants would be capped within social rent cap levels. This would be required in the Section 106 and confirmed when a registered social landlord is on board.
61. A contribution of £2,779.35 (a charge of £132.35 per affordable home) has been agreed towards affordable housing monitoring and maintained provision of these units, and would be secured by the legal agreement.

Development viability

62. Southwark's Development Viability SPD requires a Financial Viability Appraisal (FVA) to be submitted for all planning applications which trigger a requirement to provide affordable housing. The FVA should identify the maximum level of affordable housing that can be sustained and justify any proposed departures from planning policy requirements.

63. This application is therefore accompanied by a FVA, which was reviewed by independent consultants on behalf of the Council. The findings from the Independent consultant's report indicate that the scheme would generate a deficit when benchmarked against the site value. The sensitivity analysis has determined that if the sales value grew, and construction costs rise, the scheme would be able to deliver a surplus when benchmarked against the site value. In concluding their report, the assessment of the proposed development demonstrates that the scheme cannot currently viably deliver the prescribed amount of affordable housing. As the subject site is located near to the proposed Bakerloo Line extension, the development would benefit from the wider regeneration of the area. This would boost sales and thus the scheme would be likely to directly benefit from increases in residential pricing in the longer term. Therefore it is considered that the applicant's proposal of affordable housing contribution by habitable rooms is reasonable.

Conclusion on Affordable Housing

64. In conclusion, the level of affordable housing proposed at 35.38% is a very positive aspect of the scheme. The offer is therefore considered deliverable on this basis and terms to secure the affordable housing would be included in the legal agreement, together with an early stage viability review should the scheme not be implemented within two years.

DESIGN CONSIDERATIONS

65. Strategic Policy 12 of the Southwark Core Strategy (2011) states that all development in the borough will be expected to "achieve the highest possible standards of design for buildings and public spaces to help create attractive and distinctive places which are safe, easy to get around and a pleasure to be in." Saved Policy 3.12 'Quality in design' of the Southwark Plan asserts that developments should achieve a high quality of both architectural and urban design, enhancing the quality of the built environment in order to create attractive, high amenity environments people will choose to live in, work in and visit. Saved Policy 3.13 of the Southwark Plan asserts that the principles of good urban design must be taken into account in all developments. This includes height, scale and massing of buildings, consideration of the local context, its character and townscape as well as the local views and resultant streetscape. With specific reference to tall buildings, Policy 7.7 of the London Plan (2016), 'Location and Design of Tall and Large Buildings' and Saved Policy 3.20 of the Southwark Plan sets out design requirements for tall buildings, both of which are discussed in further detail in the following paragraphs.
66. The emerging design policy in the New Southwark Plan includes P12, Design Quality and P14 Tall Buildings. P12 states that development must provide, amongst other things, high standards of design with appropriate fabric, function and composition. P14 sets out locational and design requirements for tall buildings (defined as significantly taller than surrounding buildings or their

context). It states that the highest tall buildings will be located in areas where there is the greatest opportunity for regeneration, including Opportunity Areas, such as The Old Kent Road Opportunity Area.

Site layout

67. The proposed layout of the site would comprise one building with two distinct material finishes. The building is a part 10, part 11 storey building with a maximum height of 43.2m AOD. The basement, ground and intermediate levels provide the floorspace for light industrial uses and ancillary equipment and plant. General amenity and children's play space are to be provided on the 10th and 11th floor terraces with the communal amenity being 262 sqm, and the children play space being 284 sqm.
68. The main residential and commercial entrances front onto Ossory Road. The residential entrance extends to the north-east corner of the building creating an active frontage on what is a very visible part of the building and the first part of the building that can be seen from the Old Kent Road. The commercial space has double height windows facing onto Ossory Road that wrap around the building to the south creating an active frontage. The commercial floor will have light wells down to the basement that are aligned with the windows to provide natural daylight to the basement space. The south edge of the building has been pulled back from the site boundary which allows for potential secondary access to the commercial units from within the site. The main access to the service areas, bin stores, cycle storage is from the northern side of the scheme.
69. The existing public realm would be improved as part of the scheme with street trees and paving proposed. The width of the public realm along Ossory Road enables comfortable movement for people entering, leaving and moving past the site. The different paving palettes of grey, silver and brown assists in delineating the loading bay on Ossory Road, the residential and commercial entrance, and the guest cycle parking area. The change in finish to the paving is considered to add interest along the improved public realm whilst also enhancing the visual amenity. Additionally, the proposed rain garden to the Ossory Road elevation outside the entrance to the building provides a point of interest to the development.

Image: Active frontages onto Ossory Road and public realm



Height Scale and Massing (including consideration of Tall Buildings)

Image: The development, viewed from Ossory Road



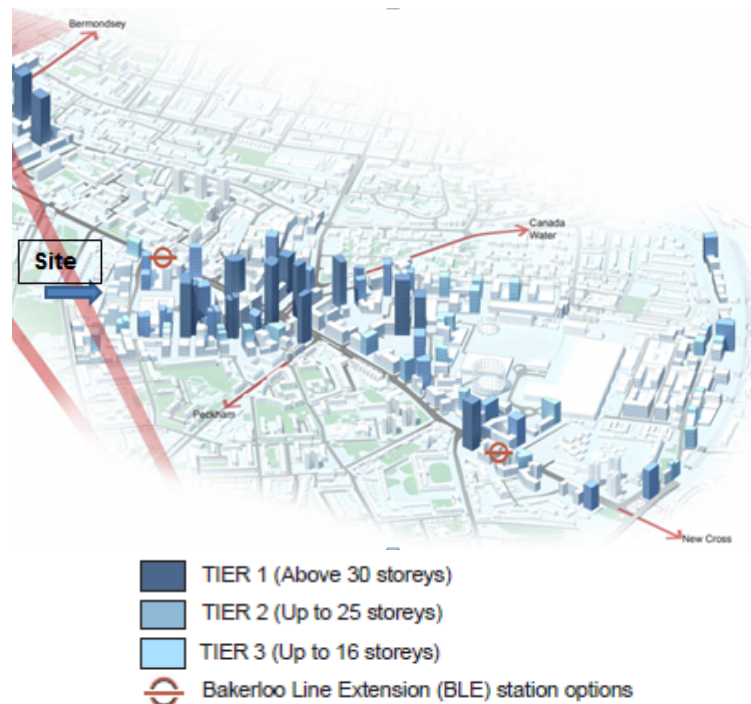
70. The proposed development is part 10 (+40.05m AOD), part 11 (+43.20m AOD) storeys with the 11-storey element fronting Ossory Road and the height stepping down to 10 storeys towards Glengall Road. The building has been split into four main elements to break up each elevation and reduce the massing of the block and create some articulation at the roof line. Opposite corners of the building are formed from the same brick creating a chequer board effect on plan. This means each side of the building is split between the different elevational treatments breaking down the mass of the building splitting it into smaller volumes. The northwest and southeast facades have

brown facing brick arranged in a strong grid grouping the floors into threes giving this element of the building a vertical emphasis. The light buff brickwork facades to the northeast and southwest have windows that are grouped horizontally with inset panels. The inset brick panels are formed using the same brown brick as the gridded facades in order to create a visual link between the two elements.

Draft OKR AAP

71. Policy 8 of the draft OKR AAP sets out a tall building strategy, the OKR 'Stations and Crossings' that should be adhered to in order to maximise the potential of the Old Kent Road. 'Tier One' buildings represent developments that exceed 30 storeys in height. These developments are proposed to be sited in the vicinity of the proposed BLE stations, to mark their city wide significance and optimise the use of land in the most accessible locations. A 'Tier Two' development proposes building heights within the range of 16 to 25 storeys. The strategic locations of Tier Two buildings located along important crossings and junctions of the Old Kent Road. The AAP states that other buildings in the area will vary in height from 8 to 16 storeys depending on their immediate context.
72. Outlined in the OKRAAP is a height strategy within each Sub-Area and Site Allocation of preferred buildings storeys. Within the subject site the heights of buildings are expected to reduce towards the edge of the masterplan to 8-10 storeys. As the scheme proposes a part 10/11 storey building, the height is therefore broadly in line with the requirements of the OKRAAP.

Image: The 'Stations and Crossings Strategy in the draft OKR AAP



73. In line with the draft OKRAAP, the design of the buildings would reflect the

industrious nature of the area. The development would be of a relatively modest height and is built up to the Ossory Road frontage with a step down in height facing towards Glengall Road. The scheme would be viewed in the context of developments of similar heights along the western side of Ossory Road. This development has a significantly reduced mass and height from the nearby Malt Street and Cantium Retail Park developments which allows for the development to successfully integrate into the aims and objectives of the OKR AAP for Sub Area 2. Given the above, the impact of the development on the skyline is considered to be acceptable.

London Plan (2016)

74. As the development would be substantially taller than its existing surroundings, it would be defined as a tall building in the adopted London Plan (2016). Policy 7.7 of the 2016 London Plan, 'Location and Design of Tall and Large Buildings', states that tall buildings should be limited to sites in the Central Activity Zone, Opportunity Areas, areas of intensification or town centres that have good access to public transport. Furthermore, London Plan Policy 2.13 requires development in Opportunity Areas to optimise residential and non residential output densities, meet or exceed minimum housing and employment guidelines and support wider regeneration objectives. Annexe 1 of the 2016 London Plan sets out the specific requirements for the Old Kent Road Opportunity Area, identifying it as having significant potential for residential- led redevelopment. As such, the Old Kent Road Opportunity Area is, in principle, an appropriate location for tall buildings which optimise housing delivery and regeneration benefits. The proposed development is considered to achieve both, whilst also meeting the other requirements of London Plan Policy 7.7.
75. National, Regional, and Local Policy state that the impact of tall buildings in sensitive locations, including the settings of conservation areas and listed buildings should be given particular consideration. In acknowledgement of the subject site not being within the boundaries of a conservation area, it is located immediately adjacent to the eastern edge of the Glengall Road Conservation Area. The specific impact of the proposed development on this sensitive setting, and the wider townscape context is assessed in more detail below where the submitted Townscape and Visual Impact Analysis (TVIA) is considered.
76. Ossory Road is characterised by Industrial land and uses with limited active frontages and poor urban streetscapes. It is considered that the industrial nature of the existing townscape is not considered worthy of protection. The replacement of the industrial use with a high quality architectural mixed use scheme is a significant public benefit of the proposed development.
77. The uplift of existing light industrial floorspace and the introduction of light industrial Affordable workspace along with the delivery of housing (including affordable housing), Children's play space and amenity space is considered to deliver significant contributions to local regeneration. Furthermore, the improvements to the public realm would be appropriately landscaped, and

would increase permeability when moving past the site.

78. The impact of the proposed development on microclimate, wind turbulence, overshadowing, noise, aviation, navigation and telecommunication interference is all assessed and presented elsewhere in this report. Please see the relevant section of this report for more detail.

Southwark Plan

79. As the most recently adopted document in the Local Plan, and the only document adopted after the Old Kent Road was designated as an Opportunity Area with significant potential for residential-led redevelopment, it is considered that these London Plan (2016) policies in relation to tall buildings are more relevant than Southwark Plan Saved Policy 3.20 dating from 2007. Nevertheless, the proposed development has also been assessed against the requirements of this saved policy. Saved Policy 3.20 requires any building over 30 metres tall to ensure that it:

- Makes a positive contribution to the landscape; and
- Is located at a point of landmark significance; and
- Is of the highest architectural standard; and
- Relates well to its surroundings, particularly at street level; and
- Contributes positively to the London skyline as a whole consolidating a cluster within that skyline or providing key focus within views.

80. The development proposes to enhance the public realm to the north, east and south elevations. This includes the improvements to the footpath and pavement along with the planting of street trees and seating to improve the general aesthetic of the immediate area. The front elevation of the development is set-back approximately 4 metres from Ossory Road to improve pedestrian movement and circulation when moving past the site. The entrance to the residential units is at the northeast corner of the development with access from the pavement along Ossory Road.

81. The development will be viewed in the context of similarly sized buildings within Ossory Road that are consistent with the preferred heights for the area within the OKR AAP. The site will sit comfortably below the larger developments at Malt Street and Cantium Retail Park within Sub Area 2 and will mediate the transition in scale from the taller tier 1,2 and 3 buildings to the east of the masterplan down towards the Glengall Road conservation area and listed buildings, as set out in the draft AAP.

82. The articulate composition of the tower expresses verticality, with inset balconies, and a clear vertical order. The inset corner balconies are grouped over two floors with inset brick panels to create a rhythm over the facade. Inset corner balconies are grouped in pairs vertically. The inset panel turns the corner of the building breaking down the solidity of the corner and emphasising the horizontal grouping of the windows. The architectural interest of the elevation fronting Ossory Road comes from the distinctions between the southern end and the northern end of the elevation. At the northern end, the

brickwork is taken up as an expressed frame with openings to the roof terrace behind. Within the openings there is glass balustrade. The top of the southern end of the elevation has a lower parapet height and set-back balustrade to create some variety in the roof line.

83. The corner where the residential lobby is located is framed to be separated from the commercial space and to highlight the residential entrance on Ossory Road. The commercial/light industrial units are located at the basement, the ground and first floors. They have a higher floor to floor height than the residential unit above. The windows span over both floors creating a double height plinth to the facade.
84. The tall building relates well to its immediate surroundings, both in terms of its base and its general design. The double-height entrance creates a sense of openness and permeability. The height and scale along with the material quality of the external appearance produces a contextual relationship in the detailing and finishing of the building. The building is considered to aesthetically enhance the Ossory Road street scene and improve the visual amenity of the immediate area and would contribute positively to the London Skyline.

Architectural design and materiality

85. There are two types of brick proposed, brown brick and light buff brick. Solid Panels, louvre doors, balconies face and window frames are proposed to be PPC aluminium (RAL 7006).
For the brown brick, at the base the ground and first floors are given over to light industrial units. The storey heights are higher than the residential floors above and the curtain walling spreads over both levels. This creates a plinth on which the building sits and differentiates clearly between the uses. Above the light industrial floors, the brown clay brick forms the main grid grouping three levels together with deep reveals to the inset brick panels and window frames. The floor plates are expressed creating a secondary frame within the primary brick grid to create an additional layer of interest. All the window frames will have a PPC 'bronze' finish.
86. The corner balconies for the brown brick aspect to the southeast and northwest facades all sit within the primary brick grid emphasising the verticality of this element of the elevation. The fascia to the balcony will have a bronze finish to match the panels and window frames with a glass balustrade. At the top, the parapet is taken up to form the balustrade to the roof terrace creating an extended grid at the top of the facade. This creates a definitive 'top' to the building. A glass balustrade is used to the corner to separate the east and west facades.
87. For the light buff brick finish of the development, at the base the residential entrance is located to the northeast corner is framed with bronze panels. On the south façade, the windows are grouped horizontally with inset brick panels. The brickwork to the inset panels is the same brick used for the neighbouring grid creating a link between the two elements of the facade. The

balconies to the northeast corner are in groups of two levels. The windows form horizontal patterns along with the inset brown brick panels. The top floor features an expressed brick frame to provide a top to the building. A glass balustrade sits behind the parapet to provide guarding to the roof terrace. As can be seen in the images the façade has a depth and articulation created by full brick depth window reveals of 215mm and by recessed brick panelling features around the window openings. The depth and detailing of these features will be critical in securing the buildings design quality and these details will be secured by condition.

Image: Brown brick balconies



Image: light buff brick balconies



88. The external appearance of the light industrial aspect of the development involves a double height plinth to the south and part of the east facade joining together the ground and first floor openings. Each double height opening is divided to rectangular panels that could be glazed or solid, fixed or openable. The light industrial use requires solid walls where possible for working tables and machinery to be fixed or supported on. Vertical fixed bronze facade panels of approximately 2.8m height are proposed to the external face of the solid walls. A clear glazed openable panel is proposed for ventilation and daylight. Every few solid panels, a fixed clear glazed panel is provided for visual aspect and additional daylight to the space. Clear glazed panels are proposed to the south east corner of the building to allow for as much daylight as possible to the basement through the lightwell. The see through panels along Ossory Road promote an active frontage allowing views to the internal activities from outdoors.

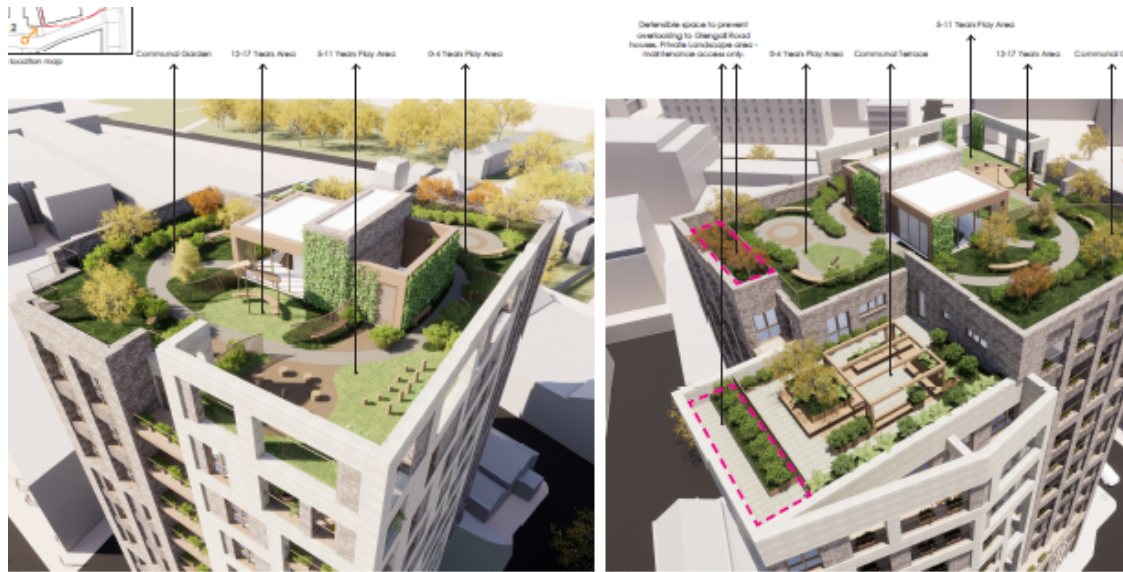
Image: External appearance of light industrial space

89. The proposed design is well thought-out and effective in producing a development where the detailed materials and façade treatments combine efficiently to produce an articulated built form that reiterates the industrial character of the immediate area of Ossory Road. The scheme offers interesting elevational treatments that enhance the architectural quality of the development. As with other Old Kent Road schemes, and as set out in paragraph 87 a condition for the final materials and detailing is attached to this decision to ensure the scheme is completed to the highest quality and the aspirations illustrated in the above images are delivered on site.

Landscaping

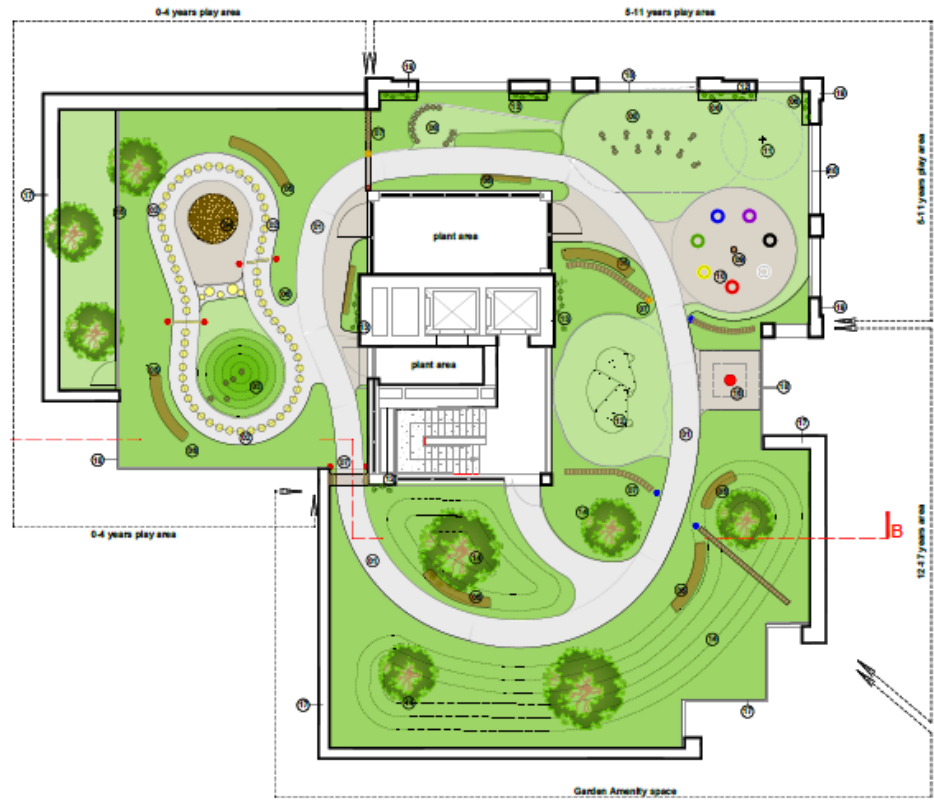
90. Suitable details have been submitted for the landscape plan of the roof terrace. The communal areas are located on the 10th and 11th floors of the development, and are accessed via both the staircases and lifts. These communal amenity areas have been designed using timber decking and concrete pavers, as well as soft landscaping in the form of trees, shrubs, grasses, herbaceous and ornamental grass mixes. The hard and soft landscaping details submitted along with the general arrangement of rain gardens and the ground/streetscene landscape plan are considered acceptable by the Council's Urban Forester.
91. In order to mitigate overlooking from the 10th and 11th floor communal amenity areas, a defensible space of raised planter beds is proposed along the southern elevation facing the dwellings on Glengall Road. This enables the development to provide adequate communal space whilst using landscaping techniques to restrict the potential for overlooking.

Image: View of proposed communal areas



92. The addition of a rain garden planting to the public realm area along Ossory Road is considered to visually enhance and adds interest to the landscape proposals. The public realm to the streetscene of Ossory Road is simple and engaging with sufficient space retained for pedestrian permeability when entering, leaving or moving past the site.
93. On the eleventh floor terrace, 215 sqm of children's play space for children up to the age of 11 is provided on site. The play space is to be located along the northern edge of the terrace with the communal amenity located on the southern edge of the eleventh floor. The incorporation of Children's Play Space onto the eleventh floor area enables the area to function as a mixed use and multi-functional play and general amenity area within the development. The parapets around the edge of these spaces have been designed to ensure they are sufficiently high therefore being safe for all users. Subject to a condition attached to this decision, the final design and details submitted for the Children's Play space would be reviewed by planning committee members.

Image: Multi-functional playspace and communal amenity areas on roof terrace



94. A preliminary ecological appraisal has been carried out by Greengage. The appraisal demonstrates that the subject site was found to be of negligible value to all rare, notable or protected species so no further surveys and no mitigation measures was recommended. An external assessment also confirmed the adjacent building to the west of the site was of low value for roosting bats however the report recommended external lighting should be designed in accordance with best practice guidance. The Council's Ecologist agrees with the recommendations of the submitted appraisal and raises no objection to the scheme. The Ecologist recommends conditioning a biodiverse roof to be implemented within the scheme along with conditions regarding Bat Tubes, biodiversity roof, and Swift Bricks on top of the eastern elevation. The conditions recommended are attached to this decision notice.

Trees

95. Saved Policy 3.13 of the Southwark Plan requires high quality and appropriately designed streetscape and landscape proposals.
96. There are no tree or landscape constraints on, or adjacent to the subject site. Given that the site currently contains no trees, the development would result in a significant increase to the number of trees which enables the development to achieve an Urban Greening Factor of 0.3. Locations for the trees include street trees on the public space fronting the north, east and south sides of the development. The Council's Urban Forester is supportive of the initiative to

provide trees within the development; However, the size and species of the trees proposed still requires agreement to provide larger and more appropriate trees. The Urban Forester has recommended a condition be attached to this decision regarding the preferred tree type and size.

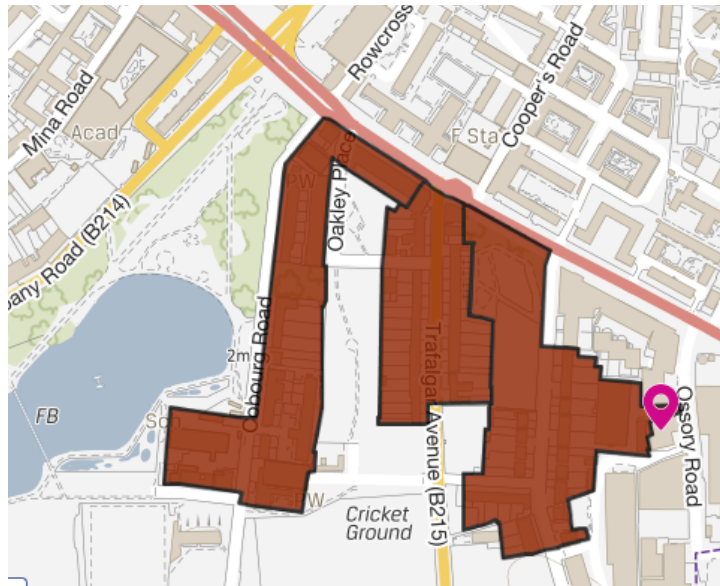
HERITAGE AND TOWNSCAPE CONSIDERATIONS

97. London Plan (2016) Policy 7.4, Local Character, states that development proposals should respond to their context, including buildings, open spaces, street patterns and the historic environment and Policy 7.8, Heritage Assets and Archaeology, seeks to record, maintain and protect London's heritage assets in order to utilise their potential within the community. It states that development should conserve the significance of any heritage asset it affects. Southwark Core Strategy Strategic Policy 12, 'Design and Conservation', states that development should ensure that the significance of built heritage assets is conserved. Saved Policy 3.15, Conservation of the Historic Environment of the Southwark Plan (2007) states that development should preserve or enhance the special interest or historic character or appearance of buildings or areas of historical or architectural significance and Policy 3.18, Setting of Listed Buildings, Conservation Areas and World Heritage Sites states that the immediate or wider settings of designated heritage assets must be preserved. The NPPF (2019) requires Local Authorities to consider the impact of a proposed development on the significance of a designated heritage asset. Any harm to, or loss of, the significance of a designated heritage asset (including from development within its setting) should be categorised as either substantial or less than substantial. Substantial harm should only be permitted in exceptional circumstances. Less than substantial harm should be weighed against the public benefits of the proposal.

Conservation areas

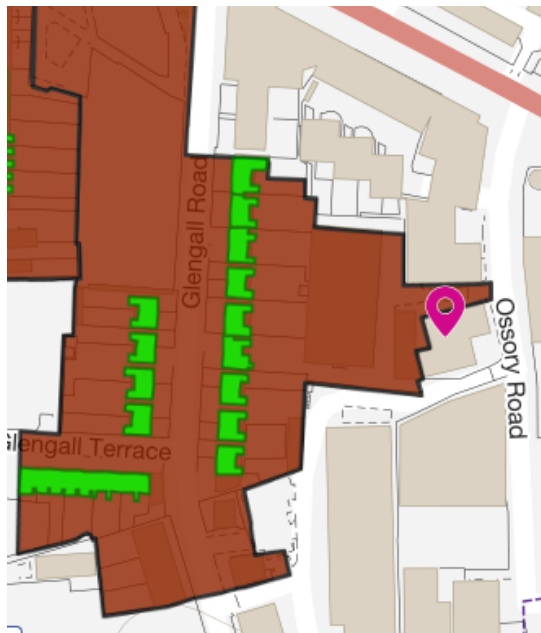
98. The subject site is not located within a conservation area and it contains no listed buildings. There is however, the Glengall Road Conservation Area boundary which runs to the immediate north and west of the application site. The adjoining property on the west boundary is the Bottling Factory which separates the subject site from the residential aspect of the Conservation Area.

Image: Glengall Road Conservation Area boundary; subject site is the purple pin



99. Beyond the Glengall Road Conservation Area lie the Trafalgar Avenue and Cobourg Road Conservations Areas. In addition, there are Grade II listed buildings that lie within the Glengall Road Conservation Area; including the following:
- Nos. 1-35 Glengall Road
 - Nos. 24-38 Glengall Road
 - Nos. 1-9 Glengall Terrace
100. The Glengall Road Conservation Area is of heritage significance on account of its architectural and historical interest, relating principally to the 19th century development of the area. The Conservation Area has historic significance with origins as one of the earliest 18th century residential suburbs to be developed along the Old Kent Road, with humble roots which started as small commercial properties facing Old Kent Road.

Image: Listed buildings located nearby; subject site is purple pin



Draft OKR APP and Draft Local List

101. Although of very limited weight, the draft OKR AAP also identifies buildings and features of townscape merit and buildings of architectural or historic interest. The following buildings, within the immediate vicinity of the site, are identified as such. These buildings are also included on the draft Local List published by the Council in March 2018. No buildings of Townscape Merit are located near to the development; however, the neighbouring Bottling Factory is identified as a Locally Listed Building as well as being in the recently extended Glengall Road conservation area.

Image: Locally listed Bottling Factory building



Townscape and Visual Impact Assessment (TVIA)

102. The submitted TVIA appraises twelve viewpoints which demonstrate that whilst the proposed development will introduce substantial change to the Site and its locality, such change can be accommodated when considering the cumulative developments without unacceptable effects on townscape

character, and visual amenity of the wider landscape. Given the height of the development, three of the twelve viewpoints are considered to be sensitive and are shown below with an individual assessment undertaken within each proposed viewpoint. In addition to the views special regard also has to be paid to the setting and special architectural and historic character of the listed buildings on Glengall Road and also to the character and setting of the conservation area.

Borough Protected Views

103. Although of limited weight, the draft New Southwark Plan Policy P19, 'Borough Views', states that development must positively enhance the borough views which have been identified. Five protected borough views have been designated and all have St Paul's Cathedral as the focal point, of which only VP01: One Tree Hill (London Panorama) and VP02: Nunhead Cemetery (Linear View) have the potential to be impacted by the Proposals. The draft policy states in both cases that development must "maintain the view of St. Paul's Cathedral from the viewpoint place", "not exceed the threshold height of the view's Landmark Viewing Corridor", and "not compromise the sensitive Wider Assessment Area that is located either side of the Landmark Viewing Corridor to ensure the viewer's ability to recognise and appreciate St. Paul's Cathedral and its setting". It also states that a canyon effect of the view of St. Paul's Cathedral must be avoided.

| View 20 (Local View VP01) | |
|----------------------------------|---|
| View location | View of St. Pauls Cathedral from One Tree Hill |
| Heritage Significance | Protected borough view identified in the draft New Southwark Plan. St. Paul's Cathedral is visible to the east of the Shard with its profile almost entirely uninterrupted by development in its foreground (albeit slightly obscured by foliage in this summer view). The towers of central London, including the Shard and towers in the City of London, appear further west. A range of development in south London, including post-war towers, appears closer to the viewpoint, in the middle ground of the view. |
| Other Significance | Public Open Space |
| Sensitivity to change | High |
| Impact of proposal | The proposed development would be located well to the side of St. Paul's Cathedral and would be completely screened by the existing trees in this view. |
| HE Comments | None |
| GLA Comments | None |
| Conclusion | As the proposal is located away from the viewing corridor to the St Paul's Cathedral (to the left of the Cathedral), it would remain clearly visible. With this in mind, there would be no harm to its significance. |

View 19 (Local View VP02)

| | |
|-----------------------|---|
| View location | View of St. Pauls Cathedral from Nunhead Cemetery |
| Heritage Significance | Protected borough view identified in the draft New Southwark Plan. The view is towards St. Paul's Cathedral, with Highgate West Hill beyond it in the distance. The view is framed by trees, specifically maintained to ensure the view is visible. The dome and western towers of the Cathedral are seen clearly against a backdrop dominated by trees in this summer view. A variety of development is visible in the foreground of St. Paul's and the Guy's Hospital Cancer Centre near London Bridge, constructed in recent years, obscures a small part of the eastern end of the Cathedral. |
| Other Significance | Public open space and cemetery. |
| Sensitivity to change | High. |
| Impact of proposal | The proposed buildings would be located well to the side of St. Paul's Cathedral and would be completely obscured by trees from this viewing location. |
| HE Comments | None |
| GLA Comments | None |
| Conclusion | The proposed development would not be visible in this protected view and therefore would not cause any harm to its significance. |

Local Views and the setting of heritage assets

104. The three viewpoints of the submitted TVIA considered in this report are from locations nearby that have been assessed due to their potential impacts on the nearby Glengall Road Conservation Area, the listed buildings in Glengall Road and the character of the immediate area surrounding the subject site.

| Viewpoint 1 | |
|-----------------------|---|
| View location | Looking north from Ossory Road |
| Heritage Significance | None |
| Other Significance | None |
| Sensitivity to change | High. |
| Impact of proposal | The existing view shows the current built form of Ossory Road illustrating the character of two storey industrial buildings/warehouses. The proposed view is considered to result in a substantial change; however, the existing built form in the view will remain both the prominent and dominant visual features within the view |
| HE Comments | None |
| Conclusion | With a low sensitivity and a high magnitude of change, the effect of the proposed development will be |

| | |
|--|-------------|
| | negligible. |
|--|-------------|

Image: Viewpoint 1 showing the existing view and proposed view:



| Viewpoint 2 | |
|-----------------------|--|
| View location | Looking east towards the subject site from Glengall Road |
| Heritage Significance | High – Nos. 1-35 on the eastern side of Glengall Road are Grade II Listed Buildings |
| Other Significance | None |
| Sensitivity to change | High |
| Impact of proposal | The site is situated in the centre of the view behind the Grade 2 listed residential housing on Glengall Road. Special regard has to be given to the impact of any |

| | |
|-------------|--|
| | proposals on the setting and architectural and historic character of these listed buildings. The proposed development will be a notable feature in the view but will not be seen in its entirety and is not considered overbearing. In height terms it will be perceived as being prominent. However, the scheme respects the existing building line of the adjacent properties and the built form appearance references the buildings in close proximity. |
| HE Comments | None |
| Conclusion | With a low sensitivity and a medium magnitude of change, the effect of the proposed development will be moderate. Whilst there will be some harm to the setting of the listed buildings and the conservation area this is considered to be less than substantial and outweighed by the schemes considerable public benefits. |

Image: Viewpoint 2 showing the existing view and proposed view:





| Viewpoint 7 | |
|-----------------------|---|
| View location | Old Kent Road junction looking south |
| Heritage Significance | None |
| Other Significance | None |
| Sensitivity to change | High |
| Impact of proposal | The existing view has no particular aesthetic but expresses the built form of Ossory Road. The introduction of the proposed development would result in a medium sensitivity and a high magnitude of change, the effect of the proposed development will be high, but not to the detriment of the surrounding area. |
| HE Comments | None |
| Conclusion | The proposal results in change to a substantial change to the existing viewpoint; however, the proposed view is not considered to harm the setting of the immediate area. |

Image: Viewpoint 7 showing the existing view and proposed view



Conclusion on the Setting of Listed Buildings, Conservation Areas and Townscape

105. The following table summarises the designated heritage assets that could be impacted by the proposal, and what harm, if any has been identified.

Table: Impact on heritage significance

| Listed Buildings and Conservation Areas | Assessment of Impact on heritage significance |
|---|---|
| LVMF Views | No harm identified |
| Local Views | No harm identified |
| Glengall Road Conservation Area | Less than substantial harm identified to setting given the height |

| | |
|---|--|
| | of the development and its limited visibility from within the conservation area. The scheme would be visible in the setting of the locally listed Bottling Factory, but is not considered to harm its setting, which has a relatively enclosed nature. |
| Listed Buildings | Some less than substantial harm owing to the height and siting of the development, which would appear behind the listed buildings roof line in some views. In other views along Glengall Road the buildings visibility would be more limited, and in some instance not visible at all. The less than substantial harm is outweighed by the schemes benefits. |
| Draft Locally listed buildings/ undesignated assets identified in the draft Old Kent Road AAP | No harm identified. |

106. In conclusion, the proposed development would not have a significant impact on the views assessed despite it being a highly visible feature in the surrounding townscape. The development is considered to be an acceptable addition to the viewpoints assessed due to its high quality of design which generates new interest in the skyline within Southwark.
107. Historic England and the Greater London Authority raised no objection to any of the viewpoints assessed. As the development is considered to significantly improve the appearance of the subject site, creates an active frontage along Ossory Road, and produces a design that successfully integrates a mix of industrial materiality to the visual amenity of the immediate area. It is therefore considered that the benefits of the scheme outweigh the limited harm from the proposed development to the surrounding area and its heritage assets.
108. Whilst limited weight has been given to emerging policy, full weight has been given to adopted policies, including the NPPF (2019), London Plan (2016) and Southwark Plan (2007) and Core Strategy (2012). As can be seen from the assessment contained within this report, the proposals are considered to be in compliance with these adopted policies.

HOUSING MIX, DENSITY AND RESIDENTIAL QUALITY

Housing Mix

109. Strategic Policy 7 of the Core Strategy 'Family homes' requires developments of 10 or more units to provide at least 60% 2+ bedroom units and 20% 3+ bedroom units. No more than 5% studio units can be provided and these can only be for private housing. At least 10% of the units should be suitable for wheelchair users. The housing mix requirements are replicated in the draft OKR AAP (Policy 5).

110. The proposed housing mix would be as follows:

Table: Proposed Housing Mix

| Unit size | No. of homes | % of homes |
|-----------|--------------|------------|
| Studio | 3 | 4% |
| 1 bed | 30 | 42% |
| 2 bed | 27 | 38% |
| 3 bed | 9 | 13% |
| 4 bed | 2 | 3% |
| Total | 71 | 100% |

111. 54% of the proposed homes would have two or more bedrooms with 16% of the development providing three or more bedrooms. This provision falls short of the minimum requirement; however, the majority of the larger units are in the affordable provision including two four bed units and this is considered to justify the shortfall.

112. Of the affordable housing units, five are one bed units, nine are two bed units, five are three bed units and two are four bed units (21 units total). The breakdown below demonstrates that the housing mix within the development is acceptable.

Table: Proposed housing mix broken down by tenure

| Unit size | Private homes | | Intermediate homes | | Social rented homes | |
|-----------|---------------|-----|--------------------|--------|---------------------|--------|
| | No. | % | No. | % | No. | % |
| Studio | 3 | 6% | 0 | 0% | 0 | 0% |
| 1 bed | 25 | 50% | 3 | 42.86% | 2 | 14.29% |
| 2 bed | 18 (5WC) | 36% | 3 (1WC) | 42.86% | 6 (2WC) | 42.86% |

| | | | | | | |
|-------|----|----|---|--------|----|--------|
| 3 bed | 4 | 8% | 1 | 14.28% | 4 | 28.56% |
| 4 bed | 0 | 0% | 0 | 0% | 2 | 14.29% |
| Total | 50 | | 7 | | 14 | |

Wheelchair housing

113. Saved policy 4.3 of the Southwark Plan requires at least 10% of all major new residential developments to be suitable for wheelchair users and London Plan Policy 3.8 requires 90% of new housing to meet Building regulations M4(2) “accessible and adaptable” and 10% to meet Building Regulations M4 (3) “wheelchair user dwellings”. This is reiterated in emerging policy in the draft OKR AAP and the New Southwark Plan.
114. 8 of the proposed new homes would meet Building Regulations Part M4 (3) “wheelchair user dwellings”, which equates to 11.27% of all dwellings. Five of the units would be private units, two would be for social rent, and one unit would also be provided in the intermediate tenure. The social wheelchair unit provision equates to 25%, and is considered to be an acceptable level of provision which is reflective of the overall proportion of social rent homes proposed. Of the wheelchair units, the majority of would be provided in the 2-bed dwellings. The wheelchair user dwellings would be secured through the Section 106 Legal Agreement.

Density

115. Policy 3.4, Optimising Housing Potential, of the London Plan states that development proposals should optimise housing output for different types of location within the relevant density range shown in Table 3.2 of the Plan. It also requires local context, the design principles and public transport capacity to be taken into account. Strategic Policy 5, Providing New Homes, of the Core Strategy sets out the density ranges that residential and mixed use developments would be expected to meet.
116. Emerging Policy P9 of the New Southwark Plan seeks development within the Old Kent Road Opportunity Area (OKROA) Core to provide 650-1,100 habitable rooms per hectare. However, the OKROA allows development to exceed this range where it achieves exemplary standards of residential design. The development as a whole delivers 201 habitable rooms over 0.43 hectares. This equates to 1,743 habitable rooms per hectare calculated in accordance with the Residential Design Standards SPD 2011.
117. Since the maximum upper limit of habitable rooms per hectare would be exceeded, the development would need to demonstrate that it would provide exemplary accommodation of the highest design standards. If it can be demonstrated that an excellent standard of accommodation would be provided, and the response to context and impact on local services and amenity to existing occupiers is acceptable, then a high density in this

Opportunity Area location would not raise any issues to warrant withholding permission. This is considered in the following table and paragraphs.

Table: Indicators of exemplary design

| Indicators of Exemplary Design | Proposal |
|--|---|
| Provide for bulk storage | All of the units would exceed the minimum requirements for storage. |
| Exceed minimum privacy distances | The distance between the rear windows of the development to the rear windows of Glengall Road dwellings is more than 65m away. This significantly exceeding the minimum privacy distance of 21m. |
| Good Sunlight and daylight standards | The development has been designed to maximise daylight inside the dwellings and ensure good levels of sunlight to the external amenity spaces. |
| Exceed the minimum ceiling height of 2.3m required by building regulations | All habitable room ceilings would be at least 2.5m high. |
| Exceed amenity space standards (both private and communal) | The private and communal amenity space standards are met. All three bed flats have balconies of at least 10 sqm and the required communal amenity spaces are provided on the 10 th and 11 th floors of the scheme. |
| Secured by Design Certification | The Met Police's Officers are satisfied that the development will meet the Secure by Design requirements. A condition is attached to this decision informing the applicant of the secure by design standards that are required to be adhered to. |
| No more the 5% studio flats | 4% of the units proposed in the development are studio flats. |
| Maximise the potential of the site | The existing site does not meet the potential that can be afforded within the site. The proposed development is considered to enable the site to maximise its potential incorporating the existing light industrial use into a mixed use scheme that is of a high quality design. |
| A minimum of 10% of units are suitable for | All of the proposed dwellings are designed to meet the wheelchair accessibility standards set |

| | |
|--|---|
| wheelchair users | out in M4(3), Accessible and Adaptable Dwellings. 11.27% of these dwellings would be easily adaptable to meet the needs of a wheelchair user. |
| Excellent accessibility within buildings | |
| Exceptional environmental performance | London Plan compliance with respect to improvement on Building Regulations Approved Document L. |
| Minimise noise nuisance between flats, through vertical stacking of similar room types | The proposed dwellings would be vertically stacked to minimise noise transfer. Wherever possible, living rooms would abut living rooms across party walls. The proposals would be designed to meet or exceed Building Regulations Part E - Resistance to the passage of sound. |
| Make a positive contribution to local context, character and communities | The proposal has been designed to contribute positively to the existing and emerging local character of the area. The use of high quality materials and simple, robust detailing will ensure the building stands the test of time. Furthermore, the creation of active frontages will improve the relationship between the building and the streetscene of Ossory Road. |
| Include a predominance of dual aspect units | 52% of the units, 37 of 71 within the scheme are either dual or triple aspect. None of the single aspect units are north facing. The four bed units as part of the social rent provision are dual aspect. |
| Have natural light and ventilation in all kitchens and bathrooms | <p>Within the development, most of the kitchens are combined with a dining area. Where kitchens are separate they would have window openings.</p> <p>All bathrooms would be internal. These would be provided with mechanical ventilation, a common approach to flatted development.</p> |
| At least 60% of homes contain two or more bedrooms | 54% of the proposed homes would have two or more bedrooms. Whilst this falls short of the 60% target it is considered that the allocation of the three and four bedroom dwellings for social rent within the scheme is acceptable in this instance. |
| Significantly exceed minimum floor space standards | All dwellings exceed the minimum space standards set out in Southwark's Residential Design Standards SPD, including extra floor |

| | |
|--|---|
| | space for wheelchair accessible units. |
| Minimise corridor lengths by having an increased number of cores | The compact nature of the development with a centralised location for the lifts enables <i>the</i> corridor lengths to be short. The positioning of the lifts allows for ease of access to the residential units on each respective floor, keeping entrances within close proximity to the location of the lifts. |
| No more than 8 units per core | Levels 2, 3 and 10 have 7 units per floor with levels 4 through to 7 providing 8 units per core. Floors 8 and 9 have 9 units per core as five 1 bed units are proposed on these two floors. |
| Achieve exemplary architectural design | The architectural design proposed for the buildings is of the exemplary standard. |

Quality of residential accommodation

118. Saved Policy 4.2 of the Southwark Plan states that development should achieve good quality living conditions and include high standards of accessibility, privacy and outlook, natural light, ventilation, space, safety and security and protection from pollution. This policy is further reinforced by the Residential design Standards SPD 2011 (including 2015 Technical Update).

Unit Size

119. Saved Policy 4.2 of the Southwark Plan advises that planning permission will be granted provided the proposal achieves good quality living conditions. The adopted standards in relation to internal layout are set out in the adopted Residential Design Standards SPD 2011 (including 2015 Technical Update).
120. All proposed homes would meet or exceed the standards as set out in the SPD. The following table sets out the minimum flat size requirements as set out in the Residential Design Standards SPD, and also the flat sizes that would be achieved:

Table: Proposed flat sizes

| Unit Type | SPD Requirement (sqm) | Size range proposed (sqm)* |
|-------------------------|-----------------------|----------------------------|
| 0 Bed 1 Person (Studio) | 39 sqm | 39.1 - 42.60 sqm |

| | | |
|-----------------------|--------|-------------------|
| 1 Bed 2 Person (flat) | 50 sqm | 50 – 55.20 sqm |
| 2 Bed 3 Person (flat) | 61 sqm | 64.2 – 66.8 sqm* |
| 2 Bed 3 Person (WCH) | 75 sqm | 75.6 – 75.6 sqm |
| 2 Bed 4 Person (flat) | 70 sqm | 73.5 – 75.4 sqm |
| 3 Bed 4 Person (Flat) | 74 sqm | 75.6 – 84.7 sqm |
| 4 bed 6 person (flat) | 99 sqm | 104.5 – 104.5 sqm |

* This includes wheelchair accessible homes, which have higher space standard requirements

121. The social and intermediate units are to be provided on the second to fourth floors within the development. All three and four bedroom units are provided with at least 10 sqm of private amenity space, and are designed to have a kitchen/dining room separate from the living room to cater for a number of activities taking place simultaneously. The layouts of all flats are sufficient in not hindering movement and circulation, and all units are above minimum sqm standards for each respective size. The number of dual aspect units has been maximised across the development, with no north facing single aspect units. All units are also proposed to have large windows to ensure good levels of daylight and sunlight are achieved.
122. Overall, it is therefore considered that the flat sizes and layouts are acceptable, and would provide a good quality of accommodation.

Internal Daylight and Sunlight without Cumulative Development

123. The internal daylighting has been assessed to 190 rooms using the Average Daylight Factor (ADF) and Daylight Distribution (DD) tests. The BRE advises that where a room satisfies either the required level for the ADF or the DD figures is above 80%, then the daylight to the room is acceptable. The Average Daylight Factor results detail that 188 rooms will meet the levels advised for their room type. This equates to a 99% pass rate. All 190 rooms will meet the recommended levels for the DD test; therefore all rooms will meet the recommended BRE levels for internal daylighting.
124. Sunlighting has been assessed to Living Rooms only, using Annual Probable Sunlight Hours (APSH). 71 rooms have been assessed of which 55 Living Rooms will meet the recommended levels of sunlighting annually and 58 Rooms will meet the recommended levels for Sunlighting for winter months. It is worth noting that where Living Rooms deviate, these are minor. Living Rooms will achieve at least 16 hours of sunlight annually and 2 hours of sunlighting for winter months.

Overlooking and Privacy within the Proposed Development

125. The units most at risk of potential overlooking and loss of privacy within the

development are a studio apartment, and a one bed two person units abutting the tenth floor terrace. To successfully mitigate any loss of privacy the landscape plan submitted demonstrates that planting will screen the units from potential overlooking and loss of privacy from users of the tenth floor amenity space. The detailed landscape plan conditioned with the decision notice will require the development to explicitly provide details of the landscaping measures that will be applied to safeguard the amenity of the two units at risk.

Conclusion on Quality of Accommodation

126. In light of the assessment above, the quality of residential accommodation proposed is considered to be a great feature of the development, and the future occupiers will enjoy adequately sized units that do not impinge on circulation or movement. The addition of generous amenity and play space areas on the tenth and eleventh floors further strengthens the overall quality of accommodation.

OUTDOOR AMENITY SPACE, PLAY SPACE AND PUBLIC OPEN SPACE

127. Saved Policy 3.11, Efficient Use of Land, of the Southwark Plan (2007) requires a “satisfactory standard of accommodation and amenity for future occupiers”. Saved Policy 4.2. Quality of Residential Accommodation requires that all residential development provide an adequate amount of useable outdoor amenity space, and that the nature and scale of the amenity space should be appropriate to the location of the development, and the character of the area.
128. Four categories of open space are required in major planning applications in the Old Kent Road Opportunity Area:
- Private amenity space (usually gardens, balconies and winter gardens);
 - Communal amenity space (usually courtyards, podium gardens or roof terraces);
 - Children’s play space; and
 - Public open space.
129. The requirements for private amenity space, communal amenity space and children’s play space are set out in adopted policy and the Residential Design Standards SPD. The requirement for public open space is specific to the Old Kent Road Opportunity Area and set out in the draft Old Kent Road Area Action Plan. The policy position on each is set out in turn below:

Private outdoor amenity space

130. The supporting text to Strategic Policy 7, Family Homes, of the Core Strategy (2011) states that family housing must provide a minimum of 10sqm of private amenity space to ensure that children have somewhere safe to play. It also states that new developments must provide additional communal play areas

for children, as required by the Mayor's Supplementary Planning Guidance on Providing for Children and Young People's Play and Informal Recreation (there is further detail on play space requirements below).

131. The private outdoor amenity space requirements are clarified further in the 2015 Technical Update to the Residential Design Standards SPD, as follows:
- Units containing three or more bedrooms should provide 10sqm of private amenity space; and
 - Units containing two bedrooms or fewer should ideally provide 10sqm of private amenity space. Where this is not possible, any shortfall should be added to the communal amenity space requirement; and
 - Private amenity spaces must be at least 3sqm in area.
132. The Residential Design SPD also states that a development is within an immediate proximity of a substantial area of public open space, accessibility to the open space, combined with better outlook, and may justify less amenity space as part of the development. In these circumstances a planning contribution may be required to provide improvements to off-site public amenity space.
133. In light of the above supplementary guidance, it is assumed that all units require 10 sqm of private amenity space; the total requirement would be 710 sqm (i.e. 71 units x 10 sqm). All of the proposed three and four bedroom units within the scheme either meet or exceed the 10sqm requirement. All one bedroom units have at least 5+ sqm balconies, and all two bedroom units are provided with 7+ sqm balconies. The total amount of private amenity space within the scheme is 588 sqm which gives a shortfall of 122 sqm from the requirement. This shortfall is as required by supplementary guidance provided in the communal space within the development.

Communal amenity space

134. In order to comply with the requirements of the Residential Design Standards SPD, 50sqm communal amenity space per development should be provided. This should be provided in addition to the requirement to compensate for any shortfall in private amenity space.
135. The communal requirement comprises a minimum of 50 sqm, plus the 122 sqm shortfall from the private, which equals 172 sqm. A total of 262 sqm of communal amenity is proposed. Two areas within the scheme provide communal amenity are as follows:
136. Tenth floor terrace (117 sqm): Located on the southwestern corner of the tenth floor
Eleventh floor terrace (145 sqm communal amenity space): Located on the southern part of the eleventh floor terrace next to the 12-17 year old play space.

Private and Communal Outdoor Amenity Space Calculations

137. The following table summarises the private and communal amenity space requirements, against that proposed. All the podium courtyard and terrace communal amenity and play spaces would be accessible to all residents.

Table: Proposed external communal amenity space in the development, and remaining shortfall against policy requirements

| Communal amenity space proposed | Proposal | Shortfall |
|---------------------------------|---|--------------|
| (Shared roof or terrace space) | 262 sqm Required 122 sqm +50 sqm = 172 sqm | No shortfall |

138. As demonstrated in the tables above, the provision of private and communal amenity space would meet and exceed the design guidance requirements.

Children's play space

139. The supporting text to Strategic Policy 7, Family Homes, of the Core Strategy (2012) states that new developments must provide communal play areas for children, as required by the Mayor's Supplementary Planning Guidance on Providing for Children and Young People's Play and Informal Recreation. Policy 3.6 of the London Plan requires new developments to make provision for play areas based on the expected child population of the development. Children's play areas should be provided at a rate of 10sqm per child bed space, covering a range of age groups. The updated GLA Child Play Space Calculator has been used in assessing this application.
140. The Mayor's SPG sets out the intended strategic approach to delivering new and enhanced play space both on and off-site in new developments. It explains that 'doorstep' play (Under 5s) should usually be provided on-site, unless there is existing provision within 100 metres. For 5-11 year olds and children over 12 years old, it recommends that off-site provision is acceptable, if there is existing provision within 100-400 metres and 400-800 metres respectively. This is summarised in Table 4.5 of the SPG, reproduced below.

Table 4.5 of the Mayor's Providing for Children and Young People's Play and Informal Recreation SPG

Table 4.5 Provision of play space to meet the needs of new development

| | | Under 5s | 5-11 | 12+ |
|------------------------------|-----------------|----------------------------------|----------------------------------|----------------------------------|
| Existing provision | within 100 m | On site or off-site contribution | Off-site contribution | Off-site contribution |
| | within 100-400m | On-site | On site or off-site contribution | On site or off-site contribution |
| | within 400-800m | On-site | On-site | On-site or off-site contribution |
| No existing provision | within 100 m | On-site | Off-site provision | Off-site provision |
| | within 100-400m | On-site | On-site | On site or off-site provision |
| | within 400-800m | On-site | On-site | On-site |

141. The financial contributions required in line with the Section 106 Planning Obligations and Community Infrastructure Levy (CIL) SPD (2015) would pay for 'off-site' provision, directly funding new and enhanced play equipment close to the site as part of a strategic approach. In this instance, they would go towards new or existing park spaces within the OKROA.
142. Using the GLA's latest Population Yield Calculator (v3.2) and assuming Inner London and a PTAL of 3/4, the scheme generates a total child yield of 21.3, which equates to a total play space requirement of 213 sqm. In total 284 sqm of play space is provided on site.
143. The play space areas for each age group are provided on the eleventh floor terrace. The design would incorporate landscaped features amongst a variety of play equipment that would be suitable for both children and toddler play. This will also require the submission of detailed planting and screening, and a detailed drawing condition requiring designs of the landscape, including all play provision, will be secured by condition and will be subject to review by planning committee members before being determined.

Children's Play Space Calculations

Table: Proposed areas of dedicated external play

| Location | Area of dedicated play space |
|------------------------|------------------------------|
| Eleventh floor terrace | 284 sqm |

144. The following table summarises the policy requirements for children's play space, against that proposed.

Table showing proposed external play space in the development, and shortfall against policy requirements

| Dedicated outdoor child play Space. | Required play space based on | Proposed play space | Shortfall |
|-------------------------------------|------------------------------|---------------------|-----------|
| | | | |

| | | | |
|--|----------------------------|---|--------------|
| This can be provided in either the communal or public open space but must be provided in addition to that space, rather than as a sub set of that space. | child yield. | | |
| Up to 12 years old | 215 sqm (162 sqm required) | Play space proposed for all children up to 17 years old located on the eleventh floor terrace | No shortfall |
| Over 12 | 69sqm (51 sqm required) | | |

Public open space

145. The Old Kent Road Area Action Plan identifies within its masterplans which sites will contribute land to new public open space and which will not. Policy AAP10 of the draft OKR AAP requires the provision of 5sqm of public open space per proposed home. Any shortfall will be charged at £205 per square metre. As set out in the Section 106 and CIL SPD, £205 per sqm represents the average cost for improving open space in Southwark. Sites that aren't providing land for public open space as required in the AAP will still therefore make contributions to public space provision in the wider plan area through this charging mechanism.
146. The development is maximised on the parcel of land therefore no public open space is provided within the scheme. Only improvements to the existing condition of the footpaths along Ossory Road and Estate Road along with a rain garden and planting of trees on both roads are the public realm enhancements within the scheme.

Public Open Space Calculation

Table: Public open space proposed

| Public Open Space | Draft OKR AAP (2017) requirement AAP 10: Parks, streets, open spaces –The Greener | Proposed public open space | Shortfall |
|--------------------------|--|-----------------------------------|------------------|
| | | | |

| | | | |
|--|--|--|--|
| | Belt. (Page 46) and sub area masterplan page 129. | | |
| | Provide 5sqm of public open space per dwelling. If the site is not identified as providing public open space on site, a financial contribution will be required. 355 sqm required | No public open space proposed in AAP masterplan. | 355 sqm shortfall 355 x £205 = £72,775 |

147. As demonstrated in the table above, due to no public open space being proposed as part of the development there would be an overall shortfall of 355 sqm, which would generate a financial contribution detailed in the table below. The payment of the financial contribution, which would be secured through the Section 106 Legal Agreement. The money would go towards the maintenance and improvements of public parks and spaces within the Old Kent Road Opportunity Area.

Overall contribution to private, communal, play and public space

148. In total, as set out above, the proposals under consideration would generate a financial contribution of £72,775 relating to amenity space, play space and public open space, all of which would go directly towards new and existing park spaces in the AAP area.

Sunlight amenity analysis within the proposed development

149. The location of the amenity areas on the tenth and eleventh floor terraces enables the development to benefit from excellent sunlight amenity. The location of the terrace amenity areas allows for the development to easily surpass the recommended two hours of sunlight to amenity areas on 21 March.

Conclusion on Outdoor Amenity Space, Play Space and Public Open Space

150. In conclusion, given the density and site coverage of the scheme under consideration, Officers are satisfied with the development achieving the space requirements for communal amenity with the shortfall from private amenity provided for the communal amenity aspect. Additionally, the scheme delivers the requirements for younger and older children's play space on site. The quality of the amenity and children's play space is a positive element of this scheme and is sufficiently planned to enable the space to not hinder or restrict

circulation and movement for users of the development. The scheme is not identified as providing public open space in the AAP masterplan and so will be making a financial contribution in line with draft plan policy requirements. Officers have secured a financial sum as detailed above that is to be secured through the S106 Agreement. The landscape proposals are well thought through and of high quality, which is a positive aspect of the scheme. To ensure the spaces delivered are of the highest quality, detailed landscape design, including play space design will be secured by condition.

IMPACT OF PROPOSED DEVELOPMENT ON AMENITY OF ADJOINING OCCUPIERS AND SURROUNDING AREA

151. Strategic Policy 13 of the Core Strategy sets high environmental standards and requires developments to avoid amenity and environmental problems that affect how we enjoy the environment. Saved Policy 3.2 of the Southwark Plan states that planning permission for development will not be granted where it would cause a loss of amenity, including disturbance from noise, to present and future occupiers in the surrounding area or on the application site. Furthermore, there is a requirement in Saved Policy 3.1 to ensure that development proposals will not cause material adverse effects on the environment and quality of life.

Impact of the proposed uses

152. The retention of the existing B1c Use over the basement, ground and intermediate floor levels is considered to retain the compatibility of the site with the predominantly industrial character of Ossory Road. The introduction of C3 residential Use Class to the upper floors is anticipated to provide a mixed use scheme that successfully integrates with the immediate area, and would not cause identifiable harm to the neighbouring occupiers. Accordingly the mix of uses within the scheme is considered acceptable.

Daylight and sunlight impacts

153. The following section of this report details the potential daylight, sunlight, and overshadowing impacts of the proposed development on surrounding residential properties. This analysis is based on guidance published by the Building Research Establishment (BRE). As required by Regulations, the submitted assessment has been undertaken by competent, experienced, registered professionals.

BRE Daylight Tests

154. Guidance relating to developments and their potential effects on daylight, sunlight, and overshadowing is given within the 'Building Research Establishment (BRE) Report 209 Site Layout Planning for Daylight and Sunlight: A Guide to Good Practice 2nd Edition (2011)' (BRE, 2011) and also in 'Lighting for Buildings Code of practice for daylighting (AMD 7391) BS 8206-2:1992' (BSI, 2008). The Building Research Establishment's (BRE) Site

Layout Planning for Daylight and Sunlight, a guide to good practice (1) gives criteria and methods that are explained subsequently for calculating DSO effects on surrounding receptors as a result of the proposed development.

155. While the BRE benchmarks are widely used, these criteria should not be seen as an instrument of planning policy. As stated in the Introduction to the BRE Guidelines paragraph 1.6:

“The guide is intended for building designers and their clients, consultants and planning officials. The advice given here is not mandatory and the guide should not be seen as an instrument of planning policy; its aim is to help rather than constrain the designer. Although it gives numerical guidelines, these should be interpreted flexibly since natural lighting is only one of many factors in site layout design.”

156. The BRE guidelines provide two principal measures of daylight for assessing the impact on properties neighbouring a site, namely Vertical Sky Component (VSC) and No-Sky Line (NSL). They also detail a third measure of daylight which is primarily used for assessing amenity within proposed accommodation, namely Average Daylight Factor (ADF).
157. The VSC test calculates the angle of vertical sky at the centre of each window and plots the change between the existing and proposed situation. The target figure for VSC recommended by the BRE is 27%, which is considered to be a good level of daylight and the level recommended for habitable rooms with windows on principal elevations. The BRE also advises that VSC can be reduced by about 20% of its original value before the loss is noticeable. In other words, if the resultant VSC with the new development in place is less than 27% and/or less than 0.8 times its former value, then the reduction in light to the window is likely to be noticeable.
158. NSL is a measure of the distribution of daylight within a room. It maps out the region within a room where light can penetrate directly from the sky, and therefore accounts for the size of and number of windows by simple geometry. The BRE suggests that the area of the working plane within a room that can receive direct skylight should not be reduced to less than 0.8 times its former value (i.e. the proportional reduction in area should not be greater than 20%).
159. ADF is a measure of the overall amount of diffuse daylight within a room. It is the average of the daylight factors across the working plane within a room. This equates to the ratio of the average illuminance across the working plane, to the illuminance due to an unobstructed sky. In addition to accounting for external obstructions, the ADF accounts for the number of windows and their size in relation to the size of the room, the window transmittance and the reflectance of the internal walls, floor and ceiling. The ADF is detailed in both British Standard 8206 Part 2:2008 and Appendix C of the BRE Report. Both these documents provide guidance for acceptable ADF values in the presence of supplementary electric lighting, depending on the room use. These are 1.0% for a bedroom, 1.5% for a living room and 2.0% for a kitchen.

BRE Sunlight Tests

160. When assessing sunlight, the BRE recommends that the Annual Probable Sunlight Hours (APSH) received at a given window in the proposed case should be at least 25% of the total available, including at least 5% in winter. Where the proposed values fall short of these, and the absolute loss is greater than 4%, then the proposed values should not be less than 0.8 times their previous value in each period (i.e. the proportional reductions should not be greater than 20%). The BRE guidelines state that ‘...all main living rooms of dwellings, and conservatories, should be checked if they have a window facing within 90 degrees of due south. Kitchens and bedrooms are less important, although care should be taken not to block out too much sun’. The APSH figures are calculated for each window, and where a room is served by more than one window the contribution of each is accounted for in the overall figures for the room. The acceptability criteria are applied to overall room based figures.

Overshadowing

161. Section 3.3 of the BRE guidelines describes the method of assessment of the availability of sunlight within garden/amenity spaces. This relates to the proportion of shading on March 21st. The BRE criteria for gardens or amenity areas are as follows, ‘It is recommended that for it to appear adequately sunlit throughout the year, at least half of a garden or amenity space should receive at least two hours of sunlight on 21 March. If as a result of a new development an existing garden or amenity space does not meet the above, and the area which can receive two hours of sunlight on 21 March is less than 0.8 times its former value, then the loss of amenity is likely to be noticeable.’
162. Given the predominantly industrial character of Ossory Road, there are not too many neighbouring buildings that are in residential use. The daylight and sunlight impacts for the following buildings in residential use and therefore of high sensitivity to impacts are:
- 13-27 Glengall Road
 - Portway House;
163. This aspiration for redevelopment on Ossory Road within the OKR AAP indicates that the neighbouring properties to the north and south of the site are allocated for significant redevelopment. These include the Pocket Living scheme at 2-10 Ossory Road (planning ref: 20/AP/0009), and 24-50 Ossory Road which has not had an application seeking planning permission for redevelopment of the site as of yet; however, has received pre-application advice regarding a potential development (planning ref: 19/EQ/0082). Notwithstanding this, the submitted Daylight and Sunlight Assessment has considered the potential impact on the adjoining sites.

Image: Plan demonstrating potentially affected neighbours located near to the application site



Daylight and sunlight impacts

13-27 Glengall Road

164. The properties are semi-detached villas in residential use and are located to the west of the subject site. Each dwelling has seven windows that serve habitable rooms facing the proposal and have therefore been included within the assessment. The dwellings are circa 70-75 metres away from the rear boundary line of the application site.
165. The VSC has been used for the daylighting assessment. The results demonstrate that all seven habitable windows at each property meet the recommended levels detailed in the BRE.
166. The APSH results for sunlighting have been assessed to Living Rooms within 90° of due south using the *Annual Probable Sunlight Hours* test. Additional room types have also been analysed, although there are no strict requirements for these under the BRE guidance. Sunlighting has been assessed to seven rooms in each of the dwellings. All seven rooms meet the required levels of sunlight on an annual basis as well as during the winter months.

Portway House

167. This property is located north of the development on Ossory Road. The

building is a three-storey purpose built block of flats. The daylighting has been assessed to 15 windows using the VSC. Ten windows meet the levels detailed in the BRE. Five windows are subject to a minor adverse effect receiving a reduction between 20-29% falling in line with the GLA supplementary guidelines. The internal daylighting has been assessed to 15 rooms using the Daylight Distribution (DD) and ADF. The results detail that all rooms meet the recommended levels in the BRE.

168. Sunlighting has been assessed to Living Rooms within 90° of due south using the *Annual Probable Sunlight Hours* test. Sunlighting has been assessed to 15 rooms. 13 rooms meet the BRE guidelines on an annual basis and all 15 meet the required levels for winter months. Some consideration needs to be given to the two rooms with results that fall below the guidelines. One contributing factor is that both rooms are set within recessed balconies. This acts as an obstruction and makes it more difficult for daylight to meet the centre point of the window, particularly during the summer when the sun is higher in the sky.
169. The window identified as 'First R1' was already below the BRE recommended hours before the development. Following the development, 'First R1' retains 74% of its existing annual sunlighting hours. This percentage figure is considered to be acceptable given that it is an inner-city building. The room is located on the first floor which means there are inherent challenges for sunlight entering the room.

Overshadowing impacts

170. A transient shadow path analysis has been undertaken for the nearest occupiers most vulnerable to a loss of light to rear garden amenity areas as part of this development. These residential areas are identified as being nos. 13-27 Glengall Road. Two methods have been used to assess the impact of the proposed development and the cumulative of nearby developments on the residential properties on Glengall Road: Permanent Overshadowing and Transient Overshadowing. The results demonstrate that the proposal and the accumulative impact are BRE compliant with each dwelling on Glengall Road receiving at least two hours of sunlight to amenity areas on March 21st. This is further demonstrated in the transient overshadowing plots where it is clear the development is too far away and of a height that results in a negligible impact.

Daylight and sunlight conclusions

171. Whilst it is acknowledged that there will be reductions in daylight and sunlight to the two windows at Portway House, the assessment demonstrates that retained levels of amenity to the affected sites will remain good after development. The analysis undertaken within the submitted daylight and sunlight assessment demonstrate that the development and its impact on nearby properties compare favourably with appropriate urban daylight levels.

Overlooking of neighbouring properties

172. In pre-application discussions planning officers confirmed such a distance is appropriate given the changing character of the area and the Council's ambitious aspirations for the regeneration of the Old Kent Road Opportunity Area. The Asda superstore is located on the opposite side of Ossory Road, which is in excess of 12m distance and in commercial use. As such, no unacceptable overlooking of these premises will occur. Additionally, The subject site is a minimum of 65 metres from closest habitable windows to the rear of the properties on Glengall Road. Given the considerable separation distance, no overlooking is considered to occur.

TRANSPORT CONSIDERATIONS

173. Saved Policy 5.2 of the Southwark Plan seeks to ensure that developments do not result in adverse highway conditions; Saved Policy 5.3 requires the needs of pedestrians and cyclists to be considered and 5.6 establishes maximum parking standards.
174. Southwark have recently adopted the Movement Plan, a people, place and experience approach to transport planning rather than modal one. This application has been assessed on how it will contribute to the 9 Missions.
175. The Mayors Transport Strategy (MTS) Mayors Transport Strategy (MTS) includes three strategic challenges that are of significant importance to assessing this application.
- Vision Zero
 - Healthy Streets
 - Air Quality.
176. The submitted Transport Assessment (TA) is considered to provide an adequate appraisal of the relevant transport and highway related matters including an assessment of the potential for journeys to be made by sustainable modes of transport as well as detailed estimates of vehicular trips resulting from the development.
177. Officers have reviewed this application and identified the following areas for detailed comments:
- Access and Road Safety – The safe movement of all modes entering and exiting the public highway
 - Trip Generation –The existing and proposed trips related to the site
 - Servicing and Delivery – How the development will manage the vehicular trips required
 - Car Parking - How the development will manage the vehicular trips required
 - Public Transport – Current access and future potential
 - Active Transport – Walking and cycling and behaviour change

Existing Site Layout

178. The subject site is located within an industrial park adjacent to Old Kent Road. The site is bound by buildings used for industrial uses to the north, south and west. To the east, the site is bound to Ossory Road and an Asda Superstore. The site is bound by a private access road and Robins and Day (cars retail unit) to the north, Ossory Road to the east, a private access road and Rexel (electrical wholesaler) to the south, and an industrial unit to the west. The existing vehicular access to the site is taken from Ossory Road, which is accessed via Old Kent Road (A2). Pedestrians and cyclists currently access the site from the front of the existing building on Ossory Road. Pedestrian footways are provided on both sides of Ossory Road.
179. Ossory Road provides the only vehicular access to the site and is a two-way single carriageway road with a 20mph speed limit. Ossory Road is a cul-de-sac providing access to various industrial units with uncontrolled parking available on both sides of the road. Footways with street lighting are provided on both sides of the road which are a minimum of 2m in width.

Proposed Site Layout

180. The proposed future site layout will need to improve the pedestrian movement by wider footways. Consideration of the location of loading bays will be detailed up as part of the S278 agreement.
181. All works within the extent of the S278 for Southwark will be done in accordance with Southwark Street Design Manual SSDM and TfL's Healthy Streets design guidance. A Condition requirement for the detailed design of the landscaping and public realm will ensure secure by design and road safety is fully considered.

Trip generation

182. It has been assumed that the existing site (*Sui Generis* land use) and proposed commercial floor space (B1c light industrial) will have a similar level of vehicle trips, and therefore no significant changes nor material impact upon the local highway network is envisaged, as a result of the light industrial use of the development. As such, for the purposes of the trip generation assessment, the vehicle trips generated by the existing site in the AM and PM peak and over the daily period (07:00-19:00) has been assumed to be zero, when compared to the proposed B1c light industrial floor space.
183. Given the sites car free nature and the expected removal of unrestricted parking along Ossory Road as part of the Old Kent Road AAP, the proposed development is expected to primarily generate trips by public transport or active modes.
184. It is proposed the residential development would generate 5 two way daily vehicular trips during the period of 7:00 and 19:00 hours . On the basis that the development proposals do not include any car parking for the residential

units, apart from the two designated blue badge car parking spaces, it is unlikely that residents (other than disabled users) will drive to the site.

Servicing and delivery

185. Given the lack of appropriate and similar surveyed sites available in the TRICS database, it has been assumed that both the existing site and proposed commercial floor-space (B1c light industrial) will both produce five servicing trips over the daily period (07:00 -19:00), with no trips in the AM and the PM peak. For the purpose of trip generation assessment, the net change in trips between the existing site and proposed commercial floor-space over the daily period is therefore assumed zero. Therefore, this shows that the existing site and proposed commercial floor-space will have a similar level of servicing trips, and therefore no significant change nor material impact upon the local highway network.
186. A total of 8 daily servicing and delivery trips are forecast for the residential use of the proposed development. The servicing and delivery trips will mostly consist of small to medium sized vans relating to deliveries, with a small number of larger vehicles collecting the general and recycling waste. The waste storage is conveniently located for both the residential and commercial uses, within close proximity to the bin store entrance so that the bins can be easily manoeuvred within 10 metres to the refuse vehicles on collection days. Access for refuse vehicles will be provided from the private road located adjacent and north to the site via Ossory Road. Refuse vehicles will manoeuvre on to the private road and stop on-street and within 10m of the entrance door to the bin store.
187. Project Centre consultants have been working with the Council on transforming Ossory Road into a more pedestrian friendly street, by removing parking/loading at the south of the road whilst maintaining the parking/loading at the north of the site near Old Kent Road. Unrestricted parking on Ossory Road is expected to be removed. This will be subject to detailed design with the LBS highways. As part of these proposals, a loading bay is proposed to be located adjacent to the site on the western side of Ossory Road. This proposal has been taken forward and therefore it is anticipated that servicing and delivery vehicles will utilise the proposed loading bay, provided on the west side of Ossory Road. The proposed loading bays along Ossory Road will be for the use of all the developments in the area. In addition to this, the proposed landscape areas are also subject to further investigation and detailed design condition with highway.
188. In order to ensure that on-street servicing and deliveries do not negatively impact on the highway network, the Council is recommending that applicants in the Old Kent Road Opportunity Area enter into Delivery Service Plan Bonds against their baseline figures for all daily servicing and delivery trips. These bonds would be calculated at £100 per residential unit and £100 per 500 sqm of non-residential floor-space. In accordance with Regulation 122 of the Community Infrastructure Levy Regulations 2010, this is not intended as a financial penalty, but as a means of mitigating any harmful impacts from the

proposed development and ensuring a better quality of life for current and future residents. As such, it is considered to meet the CIL Regulations 122 test, in that it would be:

- (i) necessary to make the development acceptable in planning terms;
- (ii) directly related to the development; and
- (iii) fairly and reasonably related in scale and kind to the development.

189. The proposal is for the management of the new development to monitor the daily vehicular activity of the site both commercial and residential, quarterly for a period of 2 years from 75% occupancy. If the site meets or betters its own baseline target the bond will be returned within 6 months of the end of the monitoring period. If the site fails to meet its own baseline the bonded sum will be made available for the council to utilise for sustainable transport projects in the ward of the development. The council will retain £1,600.00 for assessing the quarterly monitoring. The bond in this instance would be £11,800 based on the 71 residential units and 1438 sqm of non residential floor space. The applicant has agreed to the contribution which can be collected via the legal agreement.

| Type | Quantum | Bond Amount |
|-----------------|----------|-------------|
| Residential | 71 | £7,100 |
| Non Residential | 1438 sqm | £1,000 |
| Daily Trips | 5 | £3,700 |

190. All uses in the development will be subject to a condition on the marketing and promotional material related to the work to ensure this is explicit in how the development has been designed to discourage private cars and encourage sustainable living, working and visiting.

Car parking

191. The proposed development is 'car-free' with the exception of two disabled parking spaces and it is expected that there will be the removal of unrestricted parking along the whole of Ossory Road as part of the Old Kent Road AAP.

192. Vehicles will need to be reversed into the proposed on-site DDA parking. However, this is located where there will be minimal vehicle, pedestrians and cycle movements as this location is a private road with access to a small amount of business to the west of the site. Nearly all vehicle, cycle and pedestrian movements will be north/south along Ossory Road and therefore it is felt that reversing of vehicles is appropriate given this context.

193. An S106 Obligation that prevents future residents or occupiers of the proposed development from obtaining resident parking permits will be applied to this application. A condition to ensure all marketing of the development promotes car free living, to ensure the occupants are well aware they will not be entitled to permits.

Public transport

194. The site has convenient access to several bus services within walking distance to the site. The nearest bus stop to the site is located on Old Kent Road (A2), approximately 130 metres to the north east, and provides access to six bus services, the 21, 53, 78, 172, 453 and N21. A further bus stop is located on Trafalgar Avenue (B215), approximately 450 metres north west of the site, and provides access to a further three bus services, the 63, 363 and N63. The site is within walking distance of South Bermondsey station. It provides access to national rail services, routing to a range of locations including London Bridge, Beckenham Junction and Caterham.
195. As a borough Southwark agrees with TfL that bus services will need to be increased in the area ahead of the BLE to accommodate the demand generated by additional homes and jobs generally in the Old Kent Road area in advance of the opening of the planned BLE which, subject to the granting of powers and availability of funding, would be 2029/2030 at the earliest. The requirement for TfL to provide evidence to prove both previous contributions has been spent appropriately and the evidence for the further draw is the fairest way this could be managed. A contribution for this site has been agreed as £2,700 per residential unit. Secured by S106. Within the next 10 years the site is likely to benefit from the Bakerloo Line Extension.

Active transport

Walking and public realm

196. A minimum of 2.4 metres effective footway width should be provided fronting the development. The building should be set back to achieve this minimum requirement if necessary. This will be delivered through the S278 agreement.

Cycling

197. A total of 126 long-stay secure, covered and accessible cycle parking spaces will be provided onsite for the residential use of the site. The residential cycle store, located in the basement of the building, will accommodate 120 cycle spaces and be comprised of 96 Josta bike spaces and 12 Sheffield Stands (24 cycle spaces). Six cycle parking spaces will be provided on the ground floor of the building to accommodate larger cycles, with access provided from an external door to the north of the site. A total of eight short-stay cycle parking spaces, comprised of four Sheffield Stands, will be provided on Ossory Road for the residential use of the site. These cycle spaces will be located along the perimeter of the development site, close to the residential lobby entrance. The exact locations of the cycle parking will be subject to detailed design condition and should not impede the pedestrian environment.
198. For the commercial use, a total of eight long-stay, secure and covered cycle parking spaces will be provided in a ground floor cycle store, located nearby the two blue badge parking spaces. All cycle parking spaces will comprise Sheffield Stands. A total of eight short-stay cycle parking spaces will be

provided with four spaces (2 Sheffield Stands) provided in the ground floor cycle store and four spaces (2 Sheffield Stands) will be provided on Ossory Road. The provision of long-stay and short-stay cycle parking spaces accords and exceeds the requirement outlined in the New Southwark Local Plan (2017).

199. The S106 Agreement will include a contribution towards the delivery of a new Cycle Hire Docking station of £50 per residential unit. TfL requested this and location will be need to be decided). There will be a condition attached to this condition regarding the detailed design of the proposed cycle parking spaces.

Construction

200. An Outline Construction and Logistics Plan (CLP) has been prepared and submitted as a planning condition. The Section 106 would secure a detailed Construction Management Plan (CMP) and a £40 per unit contribution for Construction Management within the OKR AAP area. This is for the Council to manage cumulative impacts on the highways and environment.

Conclusion on Transport

201. The proposal is supported because it reduces car dependency, which will contribute to the impacts of climate change and to the delivery of some of the Movement Plans 9 missions, in particular Vision Zero and Healthy Streets and allows for the emerging plans for the surrounding public highway to be facilitated, subject to the obligations and conditions mentioned in this section of the report.

ARCHAEOLOGY

202. The site is within the 'Bermondsey Lake' Archaeological Priority Zone (APZ). The site is also close to the 'Old Kent Road' APZ, which has the potential to contain features associated with the former route of 'Watling Street', the major Roman road between London and Canterbury. When the New Southwark Plan is adopted, the site will lie within the newly extended 'North Southwark and Roman Roads ' Tier 1 Archaeological Priority Area (APA). Saved Policy 3.19 of the Southwark Plan (2007) requires that applications for development in APZs should be accompanied by an archaeological desk-based assessment (DBA) and an evaluation report.
203. The applicants have submitted an archaeological Desk Based Assessment (DBA) by Archaeology Collective dated August 2019. The DBA has shown that significant archaeology remains were found in close proximity to the site, including prehistoric activity and landscapes and Roman occupation. However it does not acknowledge the site is within the Bermondsey Lake APZ. The existing site does not contain a basement according to plans provided by the applicant. The proposed development includes a basement and other ground interventions (lift pits, attenuation tank, enabling works etc) relating to the proposed development will have a significant impact archaeological remains.

204. Notwithstanding the above, the Council's Archaeologist has not formally objected to the proposal. Rather, pre-commencement conditions are advised to be attached to this decision notice regarding basement foundations and design, as well as archaeological evaluation and mitigation conditions. The recommendations from the Council's Archaeologist are attached to the decision notice.

AVIATION

205. The National Air Traffic Safeguarding Office (NATS) have reviewed the proposed development and from a technical safeguarding aspect and have stated that it does not conflict with their safeguarding criteria. Accordingly, they have no objections to the proposal.

TV AND RADIO SIGNALS

206. Arqiva own and operate the UK Terrestrial Television Broadcast network and supply the Freeview platform. They also own and operate 90% of the UK Radio Broadcast network, through which they broadcast the full range of BBC and commercial radio stations. In addition, many sites that they own or manage are shared by other operators, such as BT, the Mobile Network Operators, Airwave (Emergency Services Networks), roadside services and Central and Local Government departments and agencies.
207. Following a reply to a consultation letter from LBS, Arqiva have determined that the proposed development will not impact upon their radio transmission and broadcasting links and therefore raise no objection to the development.

ENVIRONMENTAL CONSIDERATIONS

Wind and microclimate

208. A microclimate is the distinctive climate of a small-scale area and the variables within it, such as temperature, rainfall, wind or humidity may be subtly different to the conditions prevailing over the area as a whole. The main characteristics of microclimates within London are temperatures and wind. As the development does not propose a large area of space between the two buildings, the scheme is not of a scale that could potentially have any significant impact on wind conditions around the site or any adverse effects on pedestrian and residents' comfort.

Flood risk and water resources

209. The application site is located within Flood Zone 3 of the River Thames which is tidally influenced at this location, although in an area shown to be benefiting from existing flood defences. Flood Zone 3 is classified as comprising land assessed as having a 1 in 100 or greater annual probability of river flooding (>1%) or a 1 in 200 or greater annual probability of tidal flooding (>0.5%).

Flood defences are indicated to be in good condition and afford the Site a standard of protection up to the 1 in 1000 year event.

210. The Environment Agency (EA) has reviewed the submitted information in relation to flood risk and has no objection to the proposed development. On the advice of the EA, recommendations attached to this decision should include conditions relating to Piling and a Surface Water Drainage Strategy. Regarding piling, given the height of the proposed structure, it is assumed that the existing foundations would not be substantial enough therefore a piling process is required.
211. The Council's Flood and Drainage Officers have also reviewed the submitted proposals, and are encouraged to see proposals for limiting surface water discharges to greenfield runoff rates. Southwark Flood Risk Officers generally accept discharge rates of no greater than 2 l/s. The revised Drainage Strategy achieves acceptable discharge rates, and Southwark Flood Risk Officers are satisfied with the information submitted and raise no objection to the development subject to a condition regarding Sustainable Drainage Systems (SUDS) being attached to the decision notice.

Ground conditions and contamination

212. The environmental assessment has identified numerous potential sources of contamination associated with Made Ground on site and the current / historical industrial land uses nearby. In the context of a proposed residential development, it is considered the site poses a 'Moderate Risk' of harm to the health of future site users, construction workers and environmental receptors, in the context of the proposed development.
213. The Council's Environmental Protection Team have reviewed the preliminary risk assessment and accordingly recommended the attachment of a condition to require a phase 2 site investigation and risk assessment is undertaken. This investigation should include a detailed remediation and/or mitigation strategy to be prepared and submitted. This condition has been included on the draft decision notice.
214. The Environment Agency have reviewed the proposals in relation to contaminated land and made the following recommendation.
215. "We have reviewed the document 'Phase 1 Desk Study' by Pam Brown Associates (reference 1930-19/Final Rev 1 dated 04 November 2019). The report has indicated the potential for ground contamination to be present and has recommended an intrusive investigation to assess this."
216. The recommended conditions of EPT and EA Officers are included in the draft decision notice.

Air quality

217. The subject site is located in the Southwark Air Quality Management Area which is designated for the potential exceedance of the annual mean nitrogen dioxide (NO₂) and daily mean PM₁₀ air quality objectives. Southwark Plan Policy 3.6, Air Quality, states that planning permission will not be granted for development that would “lead to a reduction in air quality.” London Plan (2016) Policy 7.14 states that development proposals should minimise increased exposure to existing poor air quality and make provision to address local problems of air quality.
218. An Air Quality Assessment has been completed by Redmore Environmental (Ref: 2779r2) dated 04 November 2019. The assessment demonstrates that during the construction phase of the development there is the potential for air quality impacts as a result of fugitive dust emissions from the site. This was assessed in accordance with the Mayor of London's methodology. Assuming good practice dust control measures are implemented, the residual significance of potential air quality impacts from dust generated by demolition, earthworks, and construction and trackout activities was predicted to be not significant. Additionally, regarding impacts during the operational phase of the proposal may occur due to road traffic exhaust emissions associated with vehicles travelling to and from the site. It is considered that given the number of anticipated vehicle trips associated with the Light Industrial Use, road traffic exhaust impacts are predicted to be negligible. EPT Officers agree with the findings of the report and raise no objection.

Noise and vibration

219. A Noise Impact Assessment has been undertaken by ALN Acoustic Design (ref: J0438_R01B 19 November 2019). The assessment demonstrates that the principle local noise source is the mechanical plant equipment on the Asda site to the east of the development. There are smaller noise contributions from road traffic and activities in the industrial premises to the north and south of the site. The assessment also accounts for noise generated by the industrial units located in the vicinity of the site, including the currently vacant unit to the west of the site. The impact of activity noise from the light-industrial floorspace on the apartments on the upper floors has been considered. A sufficiently high level of sound insulation is expected to be provided by the proposed structural floor construction to protect residents against noise levels generated by typical B1c usage.
220. EPT Officers have reviewed the submitted report by ALN Acoustic Design and raise no objection to the development subject to a list of conditions that should be attached to the planning permission. EPT Officers advise that with respect to the dwellings hereby permitted within the overall development; these should be designed to ensure that internal noise levels are not exceeded due to environmental noise.
221. The recommended conditions are included in the draft decision notice.

SUSTAINABLE DEVELOPMENT IMPLICATIONS

Energy

222. Policy 5.2 of the London Plan requires major developments to provide an assessment of their energy demands and to demonstrate that they have taken steps to apply the Mayor's energy hierarchy. This involves the 'Be Lean', 'Be Clean', 'Be Green' hierarchy. Policies 5.5 and 5.6 require consideration of decentralised energy networks and policy 5.7 requires the use of on-site renewable technologies, where feasible. The residential aspect of the proposal would be expected to achieve zero carbon, and the commercial aspect a 35% reduction against part L of the Building Regulations 2010.
223. An Energy Statement and Strategy has been submitted based on the guidance of the National Planning Policy Framework (2019), The London Plan (2016) and Draft London Plan (2017), Southwark Core Strategy (2011), Southwark Sustainable Design and Construction Supplementary Planning Document (2015), and the Mayor's Energy Assessment Guidance.

Be Lean (use less energy)

224. The GLA draft version of the London Plan and the Policy SI2 Minimising greenhouse gas emissions state that residential developments should achieve 10% and non-residential developments should achieve 15% through energy efficiency measure alone. The notional heating system considered under the "be lean – use less energy" section of the Energy Hierarchy, will consist of high efficiency condensing communal gas boilers providing under floor heating and domestic hot water to the residential units. The residential spaces are to utilise a low energy mechanical ventilation strategy, with opening windows for additional purge ventilation. The commercial spaces will be mechanically ventilated, utilising heat recovery systems with summer by-pass to enable "free-cooling" when external conditions permit.
225. The development will incorporate high efficiency light fittings utilising LED lamps. Common/circulation areas will also have an absence detection system to ensure lights cannot be left on when not in occupation. The commercial spaces will utilise photocell controls to dim lighting when external lighting levels are adequate. The use of LED lighting will also minimise the internal gains commonly associated with tungsten and fluorescent lighting systems and thereby further reduce the potential for the flats to overheat.
226. The SAP outputs for the non-residential aspect of the development produce a reduction of 30.77%. For the residential aspect, results show that the energy efficiency measures introduced have resulted in the reduction in CO2 emissions from the development of 11.10%. The results demonstrate that the development complies with Policy SI2.
227. It is anticipated that once connected to the SELCHP district heating network the non-domestic building will achieve significantly greater levels of carbon

reduction. Connection to SELCHP would also result in a significantly improved reduction in regulated CO2 emissions

Be Clean (supply energy efficiently)

228. Air Source Heat Pumps (ASHP) absorbs heat from the outside air, which can then be used for space heating and domestic hot water. The ASHP's are proposed to provide the heating and hot water for the residential elements of the Ossory Road scheme; a single roof mounted condenser will provide the required heat demand for each residential floor via internally mounted hydro box units. Assuming a seasonal system efficiency of 320% (Coefficient of Performance of 3.2) and that the air source heat pump will replace 100% of the space heating/hot water demand, then the system would reduce the overall CO2 emissions by approximately 17%. Future connection to the SELCHP network would further reduce emissions to 41.28%.

Be Green (Low or Carbon Zero Energy)

229. ASHP's is the green/renewable energy technology that has been considered as suitable for the proposed scheme. The data submitted Energy Statement confirms that overall emissions, including unregulated energy use, have been reduced by 46.88% over and above the baseline model, with a 41.28% reduction in emissions directly from the use of energy generating and renewable technologies, i.e. over and above the energy efficient model. Excluding the un-regulated use, i.e. considering emissions controlled under AD Part L, then the final reduction equates to 71.49%. To meet the zero carbon targets, a carbon off-set payment of £29,016 is to be secured through the S106 Agreement.

Overheating

230. Policy 5.9 of the London Plan "Overheating and Cooling" states that major development proposals should reduce potential overheating and reliance on air conditioning systems and demonstrate this in accordance with the cooling hierarchy. This policy seeks to reduce the impact of the urban heat island effect.
231. The residential areas are arranged around a single core and have aspects in all directions; however, living areas are arranged with aspects to the east, west and south. Large patio style glazed areas are provided to ensure good levels of natural daylight and sunlight into the habitable rooms, but with opening glazing able to introduce high levels of purge ventilation. Glazing specification has been considered as part of the overheating risk and the specified new glazing will achieve a g-value of 0.45 or better in order to assist in reducing overheating risk from excessive solar gain. The commercial spaces have a specifically designed atria area, effectively a double skin façade offering protection for the highly glazed internal facade from the southern aspect.

BREEAM

232. Strategic Policy 13 of the Core Strategy requires commercial units to achieve BREEAM “excellent” and community facilities to achieve “very good”. A BREEAM Pre-assessment has been undertaken for this development with an initial rating of 71.96% considered to be rated as ‘Excellent’.
233. A planning condition is recommended to secure an independently verified BREEAM report demonstrating that these target ratings would be achieved through the detailed and technical design stages.

PLANNING OBLIGATIONS (Section 106 Undertaking or Agreement)

234. Saved Policy 2.5 of the Southwark Plan and Policy 8.2 of the London Plan advise that planning obligations can be secured to overcome the negative impacts of a generally acceptable proposal. Saved Policy 2.5 of the Southwark Plan is reinforced by the recently adopted Section 106 Planning Obligations 2015 SPD, which sets out in detail the type of development that qualifies for planning obligations. Strategic Policy 14 ‘Implementation and delivery’ of the Core Strategy states that planning obligations will be sought to reduce or mitigate the impact of developments. The NPPF which echoes the Community Infrastructure Levy Regulation 122 which requires obligations be:
- Necessary to make the development acceptable in planning terms;
 - Directly related to the development; and
 - Fairly and reasonably related in scale and kind to the development
235. The application would be supported by the following Section 106 obligations:

Table: Section 106 Financial Obligations

| Planning Obligation | Mitigation |
|--|---|
| Archaeology | £6,778 |
| Affordable housing monitoring | £2,779.35 (21 affordable homes x £132.35) |
| Carbon Offset – Green Fund | A maximum of £29,016 |
| Delivery and Service Plan bond (Residential) | £7,100 (71 homes x £100) + The council will retain £1,600.00 for assessing the quarterly monitoring for 2 years |

| | |
|--|--|
| Contribution to existing and new public space in the AAP area. | Estimated cost: £72,775 |
| Transport for London Buses | £191,700 maximum capped contribution, to be drawn down according to TfL methodology review mechanism) (Maximum £2,700 per residential unit) |
| Transport for London cycle hire contribution | £3,550 – maybe more if non residential contribution is required (£50 per residential unit plus non residential contribution) |
| Construction Management Contribution | £2,840 (£40 per residential unit) |
| Trees | £0.00 This may change if the proposed trees within the red line not be feasible of which payment will be secured |
| Admin fee | 2% for all cash contributions plus flat fee of £2,000 for costs incurred in transferring TfL buses contribution |

236. In addition to the financial contributions set out above, the following other provisions would be secured:

- Affordable housing provisions and delivery controls, including provision for an early stage review;
- Wheelchair accessible housing;
- Marketing, allocation and fit out of the wheelchair units
- Car park/ Servicing bay/ Site management plan;
- Appointment of workspace co-ordinator;
- Workspace Specification (including full M&E fit out);
- Triggers securing Practical Completion of workspace;
- 10% Affordable workspace – Available for 30 years minimum at £17 per sqft to the end user (subject to annual RPI increases);
- Affordable Workspace Management Plan, including marketing requirements;
- Construction phase jobs, short courses and apprenticeships or Employment and Training Contribution;
- Employment, Skills and Business Support Plan (Construction Phase);
- Highways works – s278 works;
- Connection to a future district heating system (SELCHP);

- London Living Wage – best endeavours to being offered to all staff employed in the commercial units as well as workers during the construction period;
 - Final Demolition and Construction Environment Management Plans;
 - Final Delivery and Service Management Plan;
 - Final Construction Logistics Management Plan;
 - Local Procurement;
 - Service charge costs to social rent tenants would be capped within social rent cap levels;
 - Securing Alan Camp Architects to deliver the building detailed design, unless otherwise agreed in writing.
237. The S106 heads of terms agreed would satisfactorily mitigate against the adverse impacts of the proposed development.
238. In the event that a satisfactory legal agreement has not been entered into by 1 June 2021, it is recommended that the director of planning refuses planning permission, if appropriate, for the following reason:

“The proposal, by failing to provide for appropriate planning obligations secured through the completion of a S106 agreement, fails to ensure adequate provision of affordable housing and mitigation against the adverse impacts of the development through projects or contributions in accordance with saved policy 2.5 'Planning Obligations' of the Southwark Plan (2007), strategic policy 14 'Delivery and Implementation' of the Core Strategy (2011), policy 8.2 'Planning obligations' of the London Plan (2015) and the Planning Obligations and Community Infrastructure Levy SPD (2015)”.

S278 Works Outline

239. The Council’s Highway Officers raised initial concerns over the use of different paving materials and colours to the Ossory Road pavement. Whilst this is noted, the issue can be overcome during the S278 negotiations between the applicant and the Southwark Highways Department.
240. An S278 agreement will need to be undertaken with Southwark Highways for works to the highway, and traffic management changes. Notwithstanding the S278 with Southwark, the applicant is advised that a separate Section 278 Agreement would be required for the development with TfL.

Mayoral and Southwark Community Infrastructure Levy (CIL)

241. Section 143 of the Localism Act states that any financial contribution received as community infrastructure levy (CIL) is a material “local financial consideration” in planning decisions. The requirement for payment of the Mayoral or Southwark CIL is therefore a material consideration. However, the weight attached is determined by the decision maker. The Mayoral CIL is required to contribute towards strategic transport investments in London as a whole, primarily Crossrail, while Southwark’s CIL will provide for infrastructure

that supports growth in Southwark.

242. Based on the floor areas provided in the agent's CIL Form dated 12-Dec-19 (2nd edition received on 16-Sep-20), the gross amount of **CIL is approximately £1,757,443.77** consisting £389,235.25 of Mayoral CIL and £1,368,208.52 of Borough CIL. If CIL relief procedures have been followed correctly after grant of planning permission, it is expected around £500,083.86 of Social Housing Relief might be claimed, of which £94,110.74 of MCIL relief and £405,973.12 of Borough CIL relief.
243. That is, the **anticipated CIL receipt for this scheme is circa £1,257,359.91 net of relief**. It should be noted that this is an estimate, and the floor areas will be checked when related CIL Assumption of Liability Form is submitted after planning approval has been obtained.

OTHER MATTERS

244. None

CONCLUSION ON PLANNING ISSUES

245. The major redevelopment of the site is supported and delivers many of the key aspirations of the AAP. The mix of uses achieved is considered to be exemplary, successfully combining industrial and residential uses in a carefully considered design led approach. The scheme would make a significant contribution to the councils housing and jobs targets in one of the boroughs major regeneration areas.
246. The re-provision of the existing Light Industrial floor space on the ground floor along with the introduction of Light Industrial Affordable Workspace is considered to be a major benefit of the scheme with the provision of 10% of the employment floor space for Affordable Workspace is welcomed.
247. The proposed mix of uses would add retain the existing industrial character of Ossory Road whilst successfully introducing residential Use into the area which would be complemented by public realm improvements to Ossory Road. In addition, the design of the ground floor light industrial space creates multiple frontages that enable the street level of Ossory Road to be activated.
248. The scheme would deliver the following major regeneration benefits:
- 71 new residential units to the borough's housing stock;
 - 35.38% affordable housing overall (25.64% social rented and 9.74% intermediate)
 - The re-provision of the existing light industrial floorspace with the introduction of Affordable Workspace;
 - 17 new full time equivalent jobs would be provided post development;
 - Generous provisions of door-step play for younger children and adequate space for older children play along with adequate communal amenity for residents to use and enjoy.

- A contribution to new and existing parks within Old Kent Road Opportunity Area, with delivery mechanisms secured through the Section 106;
 - The site will benefit significantly from the planting of trees and landscaping features that are currently not available on site;
 - The proposed development results in a series of significant economic, social and environmental benefits that outweighs any potential and minor harm to the surrounding area that may be caused.
249. The proposals would deliver a high standard of accommodation, which would comply with the majority of the standards and principles of exemplary residential design, as set out in Southwark's residential design standards SPD. No units would be single aspect and north facing. Additionally, the four bed units as part of the social rent provision are dual aspect. Given the high density of the scheme this is considered to provide a high level quality of accommodation. Furthermore, all units have access to private amenity as well as communal amenity and play space located on the tenth and eleventh floors of the development.
250. The proposed development would reduce car dependency whilst significantly increasing cycle provision within the development. The enhancement of the footway on Ossory Road and general improvements to the immediate public realm would make the visual amenity and pedestrian experience improved through comfort and circulation and ease when entering, visiting or passing along the site.
251. The impacts of the scheme on neighbouring properties in relation to daylight and sunlight would not result in detrimental harm to the living conditions of neighbouring occupiers.
252. The architectural design is considered to be of the highest quality and would significantly improve the site within the context of the surrounding area.
253. It is therefore recommended that planning permission be granted subject to conditions, referral to the Mayor of London, referral to the Secretary of State and the agreement of a Section 106 Legal Agreement under the terms as set out above.

STATEMENT OF COMMUNITY INVOLVEMENT

254. Consultation was carried out by the applicant prior to the submission of the planning, and during the consideration of the application. The consultation undertaken was carried out with the local community and key stakeholders from the area. This is summarised in the tables below, which are taken from the submitted Statement of Community Involvement dated November 2019.

| | | | |
|-------------------------|------------|-------------------------|--|
| | | | <p>increase the affordable housing bedroom sizes, the ceiling heights of the proposed business space would need to be less than 5m.</p> <p>Councillors expressed that the proposed height is acceptable in terms of impact on Glengall Road. They were particularly interest in the 2D cross section diagram displaying how 14-22 Ossory Rd would fit within the wider large scale future built environment of the OKR10 allocation. The Councillors also voiced support for the upper-floor amenity space provision, and the provision of employment space on site.</p> |
| Resident group meetings | 10/10/2019 | Glengall Road Residents | <p>A meeting was held solely for the road's residents, for the project team to present the final proposals and answer any questions attendees may have. This was held at the Avondale Square Community Centre, in close proximity to the site. Letters were hand-delivered to invite residents to the meeting.</p> <p>The meeting was attended by a representative of the Glengall Road residents, who was</p> |

| | | | |
|-----------------------------|----------------------------------|---|--|
| | | | able to view a presentation on the proposals and to discuss the scheme with the project team. |
| Meeting with Hotel Elephant | Throughout development of scheme | Hotel Elephant | Hotel Elephant is a Southwark based art studio and micro business space provider and is interested in using the light industrial space proposed within the subject development. |
| Vital OKR | 24/09/2019 | Mark Brierley, Old Kent Road's Business Association | A number of ideas for improvement were put forward by Mr Brearley with regards to the light industrial space on the site, primarily to address the need for solid walls where possible for working tables and machinery to be fixed or supported on. |

Table: List of public consultation events carried out

| Public consultation events | Date | Attendees | Summary of feedback |
|--|--|-----------------------------------|---|
| Public exhibition 1 – Unwin & Friary Tenants Hall, Frensham Street, Peckham Park Road, | 27/03/19 – 4pm-8pm 28/03/19 – 4pm-8pm | 12 members of the public attended | <p>Feedback from the workshop was positive overall. Most attendees expressed a desire for the area to improve, and were pleased that the development was a clear commitment to affordable housing and a new affordable commercial space.</p> <p>The points of concern raised during the consultation was in regards to the:</p> <ul style="list-style-type: none"> - Impact on Glengall Road Conservation Area - Daylight/sunlight impacts - Loss of privacy |

Consultations

255. Details of consultation and any re-consultation undertaken in respect of this application are set out in Appendix 1.

Consultation replies

256. Details of consultation responses received are set out in Appendix 2.

SUMMARY OF CONSULTATION RESPONSES

257. This application was subject to a round of statutory consultation in February

258. At the time of writing, a total of forty consultation responses had been received from members of the public and local businesses and organisations. All responses received are objections to the scheme. Of the objections to the development, 3 were from Portway House, and 37 were from nearby Glengall Road.

259. The main issue raised by residents objecting to the proposed development are:

- Concern over the height of the development close to residential

dwellings and units

- Height of development out of character for the area
- Overshadowing to neighbouring properties resulting in loss of daylight and sunlight to habitable windows and amenity spaces
- Negative impact on the character of the Glengall Road Conservation Area
- The ASDA delivery lorries already limited space when they turn into the ADSA entry and the addition of the work lorries, vans and traffic needed for this development to go ahead would make Ossory Road gridlocked and dangerous
- Inadequate parking provision
- Lack of bus services on OKR to cope with the demand of more population
- Impact the existing trees and vegetation in the Conservation Area and will result in damage to many protected trees and loss of the bird life and other wildlife they support.
- No demand for small retail units in the area
- Architectural design is contrary to the architectural composition of the Glengall Road Conservation Area.

260. Officer response: The development has been assessed in depth, and the development is not considered to give rise to any detrimental harm to the amenity of neighbouring occupiers given as discussed in detail within this report. Additionally, the development, whilst considerably taller than neighbouring buildings is compliant with the aims and objectives for site allocation OKR 10 within the OKR AAP and whilst there is some harm to designated heritage assets as set out in the main body of the report this is considered to be less than substantial. The design section of this report details the positive contribution this development is anticipated to make on the surrounding area. The transport concerns have been considered in the relevant section of this report along with potential harm to local ecology and landscape.

GLA

261. The GLA's Stage 1 response considers the principle of development and proposed land uses to be appropriate and generally in compliance with London Plan policies. The design is also considered acceptable. However, the report also raises a few issues whereby more information was required at the planning application stage. Through the application process, these have been addressed, as set out below.

262. Healthy Streets: Discussions between the applicant and Southwark are required the Healthy Streets ambitions will be delivered to serve the development and the necessary improvements should be secured in a section 278 agreement and through s106 obligations.

263. Officer response: Transport and Highways Officers of Southwark Council are supportive of the proposals on site and further negotiations regarding finalised public realm, transport considerations, and highways works will form parts of

the S278 and S106 Agreements.

TfL

264. Cycle Design Standards: Whilst the proposed cycle parking accords with quantitative standards identified in the intend to publish London Plan, the arrangements do not accord with London Cycle Design Standards (LCDS) and should be revised to comply with policy.
265. Officer Response: With regards to the LCDS the applicant and the applicants project team have worked hard at providing many aspects of the objectives and desired requirements of the LCDS included a segregated and secure cycle parking for each land use. This includes a range of cycle parking types with a good mix between double stacked cycle parking and Sheffield stands in the main residential cycle store at the basement level. The basement cycle store (120 cycles) includes provision for 20% of these cycles as Sheffield stands with the remaining 80% as double stackers. A condition is attached to the decision that will require a detailed design of the cycle parking of which the Council will consult TfL on before determining the final design of the cycle parking that will be agreed.
266. Servicing an Delivery: Refuse vehicles will be required to reverse into the private road which adjoins the site. In line with the Mayor's Vision Zero approach, developments should be designed to mitigate the need for reversing and thus further consideration of this element of the proposals is required.
267. Officer Response: The Council's Transport Officers are encouraged by the Servicing and Delivery arrangement proposed for the development. Officers have recommended that the applicants enter into a Delivery Service Plan Bonds against their baseline figures for all daily servicing and delivery trips. These bonds would be calculated at £100 per residential unit and £100 per 500 sqm of non-residential floor space. The applicant has agreed to the contribution which can be collected via the legal agreement.

London Underground

268. No comments to make on the application.

Metropolitan Police

269. The Designing Out Crime Officer has advised that the development can attain secure by design accreditation. The Met Officer has recommended a condition be attached regarding the need for the development to attain secure by design accreditation.
270. Officer response: The recommended conditions are included with this recommendation.

Natural England

271. No comments to make on the application.

Environment Agency

272. No objection to the development subject to suitable conditions regarding phase 2 intrusive ground investigation. On the advice of the EA Officer this condition is attached to the decision notice.

Historic England (HE)

273. Historic England raises no objection to the scheme

Arqiva

274. Arqiva has considered whether this development is likely to have an adverse effect on our operations and have concluded that the development will not impact on any of our SHF or RBL links.

Thames Water

275. On the basis of information provided, Thames Water would advise that with regard to water network and water treatment infrastructure capacity, we would not have any objection to the above planning application. Thames Water recommends informatives be attached to this planning permission. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.

276. There are water mains crossing or close to your development. Thames Water do NOT permit the building over or construction within 3m of water mains. If you're planning significant works near our mains (within 3m) we'll need to check that your development doesn't reduce capacity, limit repair or maintenance activities during and after construction, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes. <https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>

277. The proposed development is located within 15m of a strategic sewer and as such Thames Water recommends the following condition be attached to any approval given. "No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the Local Planning Authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling

method statement". Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure. Piling has the potential to significantly impact / cause failure of local underground sewerage utility infrastructure.

278. Officer response: The recommended informatives and condition have been attached to this decision notice of this application.

Internal consultees

279. The advice received from other Southwark Officers has been summarised in the table below. Further detail is provided throughout this report.

| Officer | Summary of comments | Officer response |
|-------------------------------------|---|--|
| Urban Forester | Suitable details of the roof terrace hard and soft landscaping have been provided. The general arrangement of the rain gardens and ground/streetscene are also acceptable. However, the size and species of tree still require agreement to provide larger and more appropriate trees. | Recommended conditions included in the decision notice |
| Local Economy Team (LET) | Subject to the employment and enterprise obligations outlined in this response, LET are happy to support this application which matches the economic, job, and growth plans as discussed in the planning statement. | Recommended contributions to be secured through the S106 |
| Environmental Protection Team (EPT) | Approve subject to conditions | Recommended conditions included with this report. |
| Ecology Team | The Ecology PEA Report is fine. No further surveys are required. The report makes recommendations that are best conditioned. | Condition attached to this report. |
| Flood Risk and | The submission of the surface | Condition attached to |

| | | |
|---------------|--|--|
| Drainage Team | drainage strategy demonstrates that the discharge rate will be compliant with OKR AAP discharge rates. Flood risk officers therefore have no objection to the development. | decision notice |
| Transport | Approve subject to conditions and Section 106 clauses. | Recommended conditions included with this report, or as clauses in S106. |
| Highways | No objection subject to a conditions and applicant entering into S278 Agreement | Recommended conditions attached |
| Archaeology | Further Archaeological information is to be submitted before any work development is to take place on site including basement foundation and design | Recommended conditions attached |

Community impact statement / Equalities Assessment

280. The Public Sector Equality Duty (PSED) contained in Section 149 (1) of the Equality Act 2010 imposes a duty on public authorities to have, in the exercise of their functions, due regard to three “needs” which are central to the aims of the Act:

- a) The need to eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
- b) The need to advance equality of opportunity between persons sharing a relevant protected characteristic and persons who do not share it. This involves having due regard to the need to:
 - Remove or minimise disadvantages suffered by persons who share a relevant protected characteristic that are connected to that characteristic
 - Take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of persons who do not share it
 - Encourage persons who share a relevant protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low.
- c) The need to foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves

having due regard, in particular, to the need to tackle prejudice and promote understanding.

281. The protected characteristics are: race, age, gender reassignment, pregnancy and maternity, disability, sexual orientation, religion or belief, sex, marriage and civil partnership.
282. The Council must not act in a way which is incompatible with rights contained within the European Convention of Human Rights
283. The Council has given due regard to the above needs and rights where relevant or engaged throughout the course of determining this application. This is addressed in detail in the relevant section of this report.

Relevant planning history

284. The subject site has been subject to one planning application of note which was the pre-application advice submitted for this proposal under reference 18/EQ/0365

Pre Application Advice

285. Pre-application advice was provided in advance of the submission of this application, details of which are held electronically by the Local Planning Authority. A number of meetings were held with the applicant and discussions centred around the provision of affordable housing, the height and massing of the proposals, the re-provision of B1c floor space with the insertion of Affordable Work Space in Use Class B1c. Additionally, the amenity space, play space, the quality of the residential accommodation and potential impacts upon surrounding occupiers were discussed during the pre-application stage.

Planning history of adjoining sites

286. The Council has received a number of planning applications recently in the Old Kent Road Opportunity Area. These include the following:

287. 18/AP/0564 16 Peckham Park Road and 1 Livesey Place

Application type: FULL

Demolition of existing buildings and construction of a part three, part four storey building with retail and warehouse (A1) use on the ground floor and 5 residential units (3 x 2-bedroom and 2 studio flats) on upper floors.

Decision: Granted with Grampian Condition (3rd August 2018).

288. 17/AP/2773 Malt Street Regeneration Site, Land Bounded By Bianca Road, Latona Road, Haymerle Road, Frensham Street, and Malt Street

Application type: FULL and OUTLINE

Hybrid application comprising a full planning application for Phase 1 (the “Detailed Component”) and outline planning permission (the “Outline Component”) for Phases 2 and 3:

Detailed Component (Phase 1):

Full planning permission for the demolition of existing buildings and structures and redevelopment of the central area for the erection of a total of 4 buildings, two at 7 storeys (Buildings B9 and B12), one at 15 storeys (Building B10), and one at 44 storeys (Building B4) (max height 147.12m AOD) to provide 420 homes, 1,197 sqm GEA of Class B1(c) floorspace and 785 sqm GEA of non-residential floor space within classes A1-A4 (retail), Class B1 (business) and Class D1 (public services) and D2 (entertainment and leisure) use, an energy centre (750 sqm) and new public open space and public realm with on street and basement car parking spaces and cycle spaces.

Outline Component (Phase 2 and 3):

Outline planning permission (scale, layout, landscaping, access and appearance reserved) for the demolition of existing buildings and structures and the erection of a seven buildings (B1, B2, B3, B5, B6, B7, B11) ranging in height from 5 to 39 storeys (max height 132.9m AOD) to provide up to 88,052sqm floorspace GEA, comprising up to 880 residential units, up to 3,316 sqm GEA of Class B1(c) floorspace and up to 1,702sqm GEA of non-residential floor space within Classes A1-A4 (retail), Class B1 (business), Class D1 (public services) and D2 (entertainment and leisure) use and car parking spaces at ground level and cycle spaces, with associated new open space, public realm, car parking and associated works.

Totals: Up to 1,300 homes and up to 7,000sqm commercial floorspace.

Decision: Resolution to grant, subject to a legal agreement, referral to the Mayor of London and Secretary of State (3rd June 2019).

289. 18/AP/0897 Ruby Triangle Site, Land bounded by Old Kent Road, Ruby Street and Sandgate Street

Application type: FULL

Full planning permission is sought for demolition of existing buildings and structures on the site, and redevelopment consisting of three buildings at maximum heights of 17 storeys (including mezzanine) (+64.735m AOD), 48 Storeys (+170.830m AOD) and 40 storeys (including mezzanine) (+144.750m AOD), plus single storey basement under part of the site. Development would provide 1,152 residential dwellings (Class C3), retail, business and community spaces (Classes A1, A2, A3, A4, B1(a),(b),(c) and D1), public sports hall and gym (Class D2), public and private open space, formation of new accesses and alterations to existing accesses, energy centre, associated car and cycle

parking and other associated works.

290. 18/AP/3246 Land at Cantium Retail Park, 520 Old Kent Road

Application type: FULL

Demolition of existing buildings and redevelopment of the site to provide a new basement level and buildings ranging from 3 to 48 storeys in height (max height 159.05m above ground level) comprising up to 1,113 residential units (Class C3), up to 5,659 sq. m of office floorspace (Class B1(a)), up to 2,228 sq. m of retail floorspace (Class A1), up to 2,336 sq. m of flexible space including use within Classes A1, A3, B1(a), B1(b), D1, D2 and / or Sui Generis (Theatre) within Block B and up to 596 sq. m of flexible space within Classes A1, A2 and / or A3 within Block C together with associated access, car parking, landscaping and infrastructure works.

Decision: Resolution to grant, subject to a legal agreement, referral to the GLA and Secretary of State (5th March 2019).

291. 17/AP/4596 13-14 Frensham Street, (Nye's Wharf)

Application Type: FULL

Demolition of existing buildings and erection of mixed-use scheme comprising 321sqm (GIA) of flexible A1, A2, A3, A4, B1, D1 and D2 floorspace and 882sqm (GIA) of B1 floorspace at ground and mezzanine levels; with 153 Residential units (Class C3) above in two blocks ranging from 9 to 18 storeys with hard and soft landscaping and associated infrastructure works, including three disabled spaces and cycle parking.

Decision: Resolution to grant, subject to a legal agreement and referral to the GLA (3rd September 2018).

292. 17/AP/4612 49-53 Glengall Road

Application type: FULL

Demolition of all existing buildings and structures (excluding some of the facades along Glengall Road and Bianca Road and the industrial chimney) and erection of a part 6, 8 and 15 storey mixed-use development comprising 3,855 sqm (GIA) of flexible workspace (Use Class B1) and 181 residential units (Use Class C3) with amenity spaces and associated infrastructure.

Decision: Resolution to grant, subject to a legal agreement, referral to the GLA and Secretary of State (15th January 2019).

293. 18/AP/3551 Southernwood Retail Park

Application type: FULL and OUTLINE

Hybrid planning application for detailed permission for Phase 1 and outline planning permission for Phase 2 comprising:

Application for full planning permission for 'Phase 1' comprising demolition of existing buildings and the erection of a part 9, part 14, part 15, part 48 storey development (plus basement) up to 161.25m AOD, with 940 sqm GIA of (Class A1) retail use, 541 sqm GIA of flexible (Class A1/A2/A3) retail/financial and professional services/restaurant and café use, 8671 sqm GIA (Class C1) hotel; 541 (class C3) residential units (51,757 sqm GIA); landscaping, public realm and highway works, car and cycle parking and servicing area, plant and associated works.

Application for outline planning permission (with details of internal layouts and external appearance reserved) for 'Phase 2' comprising demolition of existing buildings and the erection of a part 9, part 12, storey development (plus basement) up to 42.80m AOD, with 1049 sqm GIA of flexible (Class A1/A2/A3) retail/financial and professional services/restaurant and café use; 183 (Class C3) residential units (17,847sqm GIA), 1141 sqm GIA (Class D2) cinema and the creation of a 475 sqm GIA (Class C1) hotel service area at basement level; landscaping, public realm and highway works, car and cycle parking and servicing area, plant and associated works.

Decision: Resolution to grant, subject to legal agreement, and referral to GLA (28 May 2019).

294. 19/AP/1322 – 840 Old Kent Road

Application type: FULL

Demolition of existing building and redevelopment of the site to provide a new building of up to 13 and 21 storeys in height (maximum height 73.60m above ground level). Redevelopment to comprise 168 residential units (Class C3), a 1,778 sqm (GIA) retail unit (Class A1) and a 52 sqm (GIA) flexible retail unit (Class A1/A3), with associated landscaping, car parking, servicing, refuse and plant areas, and all ancillary or associated works.

Decision: Resolution to grant, subject to legal agreement, and referral to GLA (05 February 2020).

Planning policy

295. The statutory development plans for the Borough comprise the National Planning Policy Framework 2019, London Plan 2016, Southwark Core Strategy 2011, and saved policies from The Southwark Plan (2007 - July). The site falls within the area covered by the draft Old Kent Road Area Action Plan (draft OKR AAP).

Planning policy designations

296. The application site is found within the following Planning Policy Designations:

- The Old Kent Road Opportunity Area;
- Draft OKR AAP site OKR 10;
- Preferred Industrial Location - Strategic
- The Urban Density Zone;
- Bermondsey Lake Archaeological Priority Zone;
- The Air Quality Management Area;
- Public Transport Accessibility Level (PTAL) of 2;
- Extended background area (Wider Setting Consultation Area) of LVMF views 2A.1, 3A.1, and 6A.1 and
- Flood Zone 3

297. This application was determined in accordance with the development plan unless material considerations indicate otherwise; and the following national framework, regional and local policy and guidance are particularly relevant.

Adopted policy

National Planning Policy Framework

298. The revised National Planning Policy Framework ('NPPF') was published in February 2019 which sets out the national planning policy and how this needs to be applied. The NPPF focuses on sustainable development with three key objectives: economic, social and environmental.

299. Paragraph 212 states that the policies in the Framework are material considerations which should be taken into account in dealing with applications.

300. Section 2 - Achieving sustainable development
 Section 5 - Delivering a sufficient supply of homes
 Section 6 - Building a strong, competitive economy
 Section 7 - Ensuring the vitality of town centres
 Section 8 - Promoting healthy and safe communities
 Section 9 - Promoting sustainable transport
 Section 11 - Making effective use of land
 Section 12 - Achieving well-designed places
 Section 14 - Meeting the challenge of climate change, flooding and coastal change
 Section 15 - Conserving and enhancing the natural environment
 Section 16 - Conserving and enhancing the historic environment

301. National Planning Policy Guidance (2014) is a web-based resource which brings together planning guidance on various topics into one place.

London Plan 2016

302. The London Plan is the regional planning framework and was adopted in 2016. The most relevant policies are those listed below.
303. Policy 2.17 - Strategic Industrial locations
 Policy 3.1 - Ensuring Equal Life Chances for All
 Policy 3.3 - Increasing housing supply
 Policy 3.5 - Quality and design of housing developments
 Policy 3.6 - Children and young people's play and informal recreation facilities
 Policy 3.8 - Housing choice
 Policy 3.9 - Mixed and balanced communities
 Policy 3.10 - Definition of affordable housing
 Policy 3.11 - Affordable housing targets
 Policy 3.12 - Negotiating affordable housing on individual private residential and mixed use schemes
 Policy 3.13 - Affordable housing thresholds
 Policy 3.16 - Protection and Enhancement of Social Infrastructure
 Policy 4.3 - Mixed use development and offices
 Policy 4.4 - Managing industrial land and premises
 Policy 5.7 - Renewable energy
 Policy 5.8 - Innovative energy technologies
 Policy 5.11 - Green roofs and development site environs
 Policy 5.12 - Flood risk management
 Policy 5.13 - Sustainable drainage
 Policy 5.21 - Contaminated land
 Policy 6.9 - Cycling
 Policy 6.10 - Walking
 Policy 6.13 - Parking
 Policy 7.2 - An inclusive environment
 Policy 7.3 - Designing out crime
 Policy 7.4 - Local character
 Policy 7.6 - Architecture
 Policy 7.21 - Trees and woodlands
 Policy 8.2 - Planning obligations
 Policy 8.3 - Community infrastructure levy
304. The London Plan 2016 identifies the Old Kent Road as an Opportunity Area with “significant potential for residential – led development along the Old Kent Road corridor”. Opportunity Areas are described in the London Plan (2016) as London’s major reservoirs of brownfield land with significant capacity to accommodate new housing, commercial and other development linked to existing or potential improvements to public transport accessibility.
305. Policy 2.13 in the London Plan 2016 sets out the strategic policy for the development and intensification of opportunity areas. Annex 1 includes an indicative capacity for Old Kent Road of 2,500 homes and 1,000 jobs and supports the development of a planning framework to realise the area’s full growth potential. It goes on to state that the employment and minimum homes figures should be explored further and refined in a planning framework for the

area.

Mayoral SPGs

306. The following Mayoral SPGs are relevant to the consideration of this application:

307. Homes for Londoners (2017)

London View Management Framework (2012)

London's World Heritage Sites SPG (2012)

Providing for Children and Young People's Play and Informal Recreation (2008)

Use of planning obligations in the funding of Crossrail (2010)

Affordable Housing and Viability SPG (2017)

Core Strategy 2011

308. The Core Strategy was adopted in 2011 providing the spatial planning strategy for the borough. The strategic policies in the Core Strategy are relevant alongside the saved Southwark Plan (2007) policies. The relevant policies of the Core Strategy 2011 are:

Strategic policy 1 - Sustainable development

Strategic policy 2 - Sustainable transport

Strategic policy 3 - Shopping, leisure and entertainment

Strategic policy 4 - Places for learning, enjoyment and healthy lifestyles

Strategic policy 5 - Providing new homes

Strategic policy 6 - Homes for people on different incomes

Strategic policy 7 - Family homes

Strategic policy 10 - Jobs and businesses

Strategic policy 11 - Open spaces and wildlife

Strategic policy 12 - Design and conservation

Strategic policy 13 - High environmental standards

Strategic policy 14 - Implementation and delivery

Southwark Plan 2007 (July) - Saved Policies

309. In 2013, the council resolved to 'save' all of the policies in the Southwark Plan 2007 unless they had been updated by the Core Strategy with the exception of Policy 1.8 (location of retail outside town centres). Paragraph 213 of the NPPF states that existing policies should not be considered out of date simply because they were adopted or made prior to publication of the Framework. Due weight should be given to them, according to their degree of consistency with the Framework. The relevant policies of the Southwark Plan 2007 are:

Policy 1.1 - Access to employment opportunities

Policy 1.2 - Strategic and local preferred industrial locations

Policy 1.5 - Small businesses

Policy 2.2 - Provision of new community facilities

Policy 2.5 - Planning obligations

Policy 3.2 - Protection of amenity
 Policy 3.3 - Sustainability assessment
 Policy 3.4 - Energy efficiency
 Policy 3.6 - Air quality
 Policy 3.7 - Waste reduction
 Policy 3.9 - Water
 Policy 3.11 - Efficient use of land
 Policy 3.12 - Quality in design
 Policy 3.13 - Urban design
 Policy 3.14 - Designing out crime
 Policy 3.15 - Conservation of the Historic Environment
 Policy 3.18 – Setting of Listed Buildings, Conservation Areas and World Heritage Sites
 Policy 3.19 – Archaeology
 Policy 3.20 – Tall Buildings
 Policy 3.22 – Important Local Views
 Policy 3.28 - Biodiversity
 Policy 4.2 - Quality of residential accommodation
 Policy 4.3 - Mix of dwellings
 Policy 4.4 - Affordable housing
 Policy 4.5 - Wheelchair affordable housing
 Policy 5.2 - Transport impacts
 Policy 5.3 - Walking and cycling
 Policy 5.6 - Car parking
 Policy 5.7 - Parking standards for disabled people and the mobility impaired

Supplementary Planning Documents (SPDs)

310. The following Southwark SPDs are relevant to the consideration of this application:

Development Viability SPD (2016)
 Technical Update to the Residential Design Standards SPD (2015)
 Section 106 Planning Obligations/CIL SPD (2015)
 Affordable housing SPD (2008 - Adopted and 2011 - Draft)
 Residential Design Standards SPD (2011)
 Sustainable Transport SPD (2010)
 Sustainable design and construction SPD (2009)
 Sustainability assessments SPD (2009)

Emerging Planning Policy

Draft New London Plan

311. The draft New London Plan was published on 30 November 2017 and the first and only stage of consultation closed on 2nd March 2018. Following an Examination in Public, the Mayor then issued the Intend to Publish London Plan, which was published in December 2019.

The Secretary of State responded to the Mayor in March 2020 where he

expressed concerns about the Plan and has used his powers to direct changes to the London Plan. The London Plan cannot be adopted until these changes have been made.

The draft New London Plan is at an advanced stage. Policies contained in the Intend to Publish (ItP) London Plan published in December 2019 that are not subject to a direction by the Secretary of State carry significant weight. Paragraph 48 of the NPPF states that decision makers may give weight to relevant policies in emerging plans according to the stage of preparation of the emerging plan, the extent to which there are unresolved objections to the policy and the degree of consistency with the Framework.

312. The draft New London Plan identifies the Old Kent Road as having a minimum capacity for 12,000 homes and a jobs target of 5,000, which increases the capacity of the adopted London Plan of 2,500 homes and 1,000 jobs.

New Southwark Plan

313. For the last five years the council has been preparing the New Southwark Plan (NSP) which will replace the saved policies of the 2007 Southwark Plan and the 2011 Core Strategy. The council concluded consultation on the Proposed Submission version (Regulation 19) on 27 February 2018. The New Southwark Plan Proposed Submission Version: Amended Policies January 2019 consultation closed in May 2019. These two documents comprise the Proposed Submission Version of the New Southwark Plan.

These documents and the New Southwark Plan Submission Version (Proposed Modifications for Examination) were submitted to the Secretary of State in January 2020 for Local Plan Examination. The New Southwark Plan Submission Version (Proposed Modifications for Examination) is the Council's current expression of the New Southwark Plan and responds to consultation on the NSP Proposed Submission Version.

In April 2020 the Planning Inspectorate provided their initial comments to the New Southwark Plan Submission Version. It was recommended that a further round of consultation take place in order to support the soundness of the Plan. Consultation is due to take place on this version of the NSP in summer 2020. The final updated version of the plan will then be considered at the Examination in Public (EiP).

It is anticipated that the plan will be adopted in 2021 following the EiP. As the NSP is not yet adopted policy, it can only be attributed limited weight. Nevertheless paragraph 48 of the NPPF states that decision makers may give weight to relevant policies in emerging plans according to the stage of preparation of the emerging plan, the extent to which there are unresolved objections to the policy and the degree of consistency with the Framework.

Old Kent Road Area Action Plan (OKR AAP/OAPF)

314. The council is preparing an Area Action Plan/Opportunity Area Planning

Framework for Old Kent Road (AAP/OAPF) which proposes significant transformation of the Old Kent Road area over the next 20 years, including the extension of the Bakerloo Line with new stations along the Old Kent Road towards New Cross and Lewisham. Consultation has been underway for 4 years, with a first draft published in 2016. A further preferred option of the Old Kent Road AAP (Regulation 18) was published in December 2017 and concluded consultation on 21 March 2018. As the document is still in draft form, it can only be attributed limited weight.

315. Whilst acknowledging this limited weight, members are advised that the draft OKR AAP places the application site within the proposed Action Area Core, and within proposal site OKR 10 which covers the area bounded by Ossory Road, Latona Road and the Cantium Retail Park Requirements for this allocation site include the re-provision of existing industrial floor space in Use Class B1c, and to provide residential accommodation in Use Class C3, and the provision of Affordable Work space in Use Class B1c.

ENVIRONMENTAL IMPACT ASSESSMENT

316. No request for an Environmental Impact Assessment (EIA) was carried out in accordance with Regulation 5 of the Town and Country Planning (Environmental Impact Assessment) Regulations 2017. It is noted that the regulations raise and amend the thresholds at which certain types of development project will need to be screened in order to determine whether an environmental impact assessment is required. The development could be considered an urban development project under Schedule 2 of the Regulations. As the development would not introduce more than 150 dwellings it is therefore not necessary to assess the potential impact against Schedule 2 of the EIA Regulations.

Human rights implications

317. This planning application engages certain human rights under the Human Rights Act 1998 (the HRA). The HRA prohibits unlawful interference by public bodies with conventions rights. The term 'engage' simply means that human rights may be affected or relevant.
318. This application has the legitimate aim of providing new mixed use development. The rights potentially engaged by this application, including the right to a fair trial and the right to respect for private and family life are not considered to be unlawfully interfered with by this proposal.

SUPPLEMENTARY ADVICE FROM OTHER OFFICERS

319. None.

BACKGROUND DOCUMENTS

| Background Papers | Held At | Contact |
|--|--|--|
| Southwark Local Development Framework and Development Plan Documents | Place and Wellbeing Department 160 Tooley Street London SE1 2QH | Planning enquiries telephone: 020 7525 5403 Planning enquiries email: planning.enquiries@southwark.gov.uk Case officer telephone: 0207 525 1513 Council website: www.southwark.gov.uk |

APPENDICES

| No. | Title |
|------------|---------------------------------|
| Appendix 1 | Consultation undertaken |
| Appendix 2 | Consultation responses received |
| Appendix 3 | Recommendation |

AUDIT TRAIL

| | | |
|---|-----------------------------------|--------------------------|
| Lead Officer | Simon Bevan, Director of Planning | |
| Report Author | Troy Davies, Team Leader | |
| Version | Final | |
| Dated | 12 November 2020 | |
| Key Decision | No | |
| CONSULTATION WITH OTHER OFFICERS / DIRECTORATES / CABINET MEMBER | | |
| Officer Title | Comments Sought | Comments included |
| Strategic Director of Finance and Governance | No | No |
| Strategic Director of Environment and Leisure | No | No |
| Strategic Director of Housing and Modernisation | No | No |
| Director of Regeneration | No | No |
| Date final report sent to Constitutional Team | 12 November 2020 | |

Reference: 19/AP/7610
Case Officer: Troy Davies
Proposal: Demolition of the existing building and redevelopment of the site to deliver a building of part 10 part 11 storeys (43.2m AOD) comprising 1,438 sqm of light industrial floorspace across the basement, ground, and first floors; 71 residential units (35.38% by habitable rooms) across the upper floors; and associated outdoor communal amenity space, disabled car parking, cycle storage, refuse storage, and landscaping.

This application represents a departure from strategic policy 10 'Jobs and Businesses' of the Core Strategy (2011) and Saved Policy 1.2 'Strategic and Local Preferred Industrial Locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location.

Location: 14-22 Ossory Road London Southwark SE1 5AN

Neighbours and Contributors

| Name/Address | Letter Template | Period | Date Printed | Reply by |
|---|--|--------|--------------|------------|
| Flat 7 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 12 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 26 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| First Floor And Second Floor Flat 5 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 17 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 41 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 47 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 1 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 12 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 68 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | | B21 | 27/02/2020 |
| Flat 24 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | | B21 | 27/02/2020 |

APPENDIX 1

| | | | |
|---|--|-----|------------|
| Flat 14 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 29 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 24 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 5 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 19 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 16 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 48B Glengall Road London Southwark SE15 6NH | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 5 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 512-516 Old Kent Road London Southwark SE1 5BA | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 31 Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 3 Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 25 Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 31 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 3 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 25 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 16 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 17 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 71 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 66 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| Flat 52 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 5 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 8A Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 1 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 16 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 52 Ossory Road London Southwark SE1 5AN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 15A Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 14 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 11 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 5 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 3 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 20 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 18 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 12 Oleander House 430 Old Kent Road London Southwark SE1 5AG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 2 Oleander House 430 Old Kent Road London Southwark SE1 5AG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| First Floor Flat 40A Glengall Road London Southwark SE15 6NH | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 48 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 47 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 41 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 33 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| 28 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 7 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 8 41 Glengall Road London Southwark SE15 6NF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Basement Flat 5 Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Asda 478-500 Old Kent Road London Southwark SE1 5AS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Unit 8 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 11 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 1 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 43 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 11 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 15 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 6 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 48A Glengall Road London Southwark SE15 6NH | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 4 41 Glengall Road London Southwark SE15 6NF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 4 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 37 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 23 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 21 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 7 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 3 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| Flat 22 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 19 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 4 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 65 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 63 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 46 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 35 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 26 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 15 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 2 Tevatree House Old Kent Road London Southwark SE1 5PA | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 9A Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 27 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 8 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 47 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 39 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 34 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 21 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 6 Oleander House 430 Old Kent Road London Southwark SE1 5AG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Inspiration House Second Floor 54-80 Ossory Road London Southwark SE1 5AN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 33 Glengall Road London SE15 6NJ | | | |

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| First Floor Flat 50 Glengall Road London Southwark SE15 6NH | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 11 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Third Floor Flat Surrey Wharf 30 Olmar Street London Southwark SE1 5AU | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 11B Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 5 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 22 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 13 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 10 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 67 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 8 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 31 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 3 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 27 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 16 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 10 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 45 Ossory Road London Southwark SE1 5AN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 6 Roman House 2B Ossory Road London Southwark SE1 5AN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 3 Roman House 2B Ossory Road London Southwark SE1 5AN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 10 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 6 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |

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| Flat 35 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 64 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 60 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 56 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 7 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 53 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 4 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 2 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 5 41 Glengall Road London Southwark SE15 6NF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 42 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 1 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 28 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 37 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 10 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 14 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 36 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 14 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 42 Glengall Road London Southwark SE15 6NH | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 12 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 1 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |

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| Flat 19 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 2 Roman House 2B Ossory Road London Southwark SE1 5AN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 11 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 7 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 58 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 51 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 41 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 9 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 23 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 452 Old Kent Road London Southwark SE1 5AA | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 13 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 3 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 58 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 11 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Hand Car Wash Asda 478-500 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Unit 2 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Basement Flat 27 Glengall Road London Southwark SE15 6NF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 1 41 Glengall Road London Southwark SE15 6NF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 18 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 16 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |

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| Unit B 2-10 Ossory Road London Southwark SE1 5AN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 9A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 38 Glengall Road London Southwark SE15 6NN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 39 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 13 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 518 Old Kent Road London Southwark SE1 5BA | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 40 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 38 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 27 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 10 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 2 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 73 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 19 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 14 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 26 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 2 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 15 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 3 Tevatree House Old Kent Road London Southwark SE1 5PA | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 462 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 8 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |

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| Flat 31 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 26 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 22 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 54 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 17 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 48 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 18 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 37 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 29 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 30 Glengall Road London Southwark SE15 6NN | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 23 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat Middle Floor 2 462 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 62 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 2 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 28 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| 23 glengall road London SE156NJ | | | |
| Flat 13 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 46 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 41 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat A 44 Glengall Road London Southwark SE15 6NH | Neighbour Notification Letter - BULK 19.03.2020 | B21 | 27/02/2020 |
| Flat 8 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| 26 Glengall Road London Southwark SE15 6NN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 4 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 5 Roman House 2B Ossory Road London Southwark SE1 5AN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 27 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 29 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 7 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 19 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 19A Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 12 Ossory Road London Southwark SE1 5AN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 61 Oleander House 1A Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Basement Flat 34 Glengall Road London Southwark SE15 6NN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 13 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 9 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 36 Glengall Road London Southwark SE15 6NN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 33 Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 43 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 34 George Elliston House Old Kent Road London Southwark SE1 5ET | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 54 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 38 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 6 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| Flat 21 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 12 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 8 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 24 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 1 Tevatree House Old Kent Road London Southwark SE1 5PA | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 6 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 45 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 43 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 1 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 1 Roman House 2B Ossory Road London Southwark SE1 5AN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 29 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 25 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 16 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 8 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat Ground Floor 1 462 Old Kent Road London Southwark SE1 5AG | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 46 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 44 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 39 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 25 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 23 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| 20 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 17 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 15 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Second Floor Flat 50 Glengall Road London Southwark SE15 6NH | 12.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Ground Floor And First Floor 54-80 Ossory Road London Southwark SE1 5AN | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat C 44 Glengall Road London Southwark SE15 6NH | 12.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Unit 3 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 14 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 21 Glengall Road London Southwark SE15 6NJ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 7 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | 12.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 59 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 22 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 13 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 19 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 4 Tevatree House Old Kent Road London Southwark SE1 5PA | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 4 Ainsdale Drive London Southwark SE1 5JY | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 17 Oleander House 1B Glengall Road London Southwark SE15 6FS | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 6 George Elliston House Old Kent Road London Southwark SE1 5ET | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 44 George Elliston House Old Kent Road London Southwark SE1 5ET | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 2 Avondale House Avondale Square London Southwark SE1 5PE | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 5 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 16 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 1 Portway House 2A Ossory Road London Southwark SE1 5XY | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 70 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 39 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 13 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 17 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |

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| Flat 12 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Shop 462 Old Kent Road London Southwark SE1 5AG | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 7 41 Glengall Road London Southwark SE15 6NF | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat Top Floor 3 462 Old Kent Road London Southwark SE1 5AG | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 32 Oleander House 1B Glengall Road London Southwark SE15 6FS | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 63 Oleander House 1A Glengall Road London Southwark SE15 6NJ | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Unit 5 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 1 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 28 Glengall Road London Southwark SE15 6NN | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 39 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 36 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 11 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 62 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |

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| Flat 55 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 50 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 25 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 20A Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | | |
| | B21 | 27/02/2020 | |
| Flat 20 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 3 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 11 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 10 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 5 Avondale House Avondale Square London Southwark SE1 5PE | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 40 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| 1 Glengall Road London Se15 6nj 19 Glengall Road London SE15 6NJ 15A Glengall Road London SE15 6NJ | | | |
| | Flat 38 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 |
| Flat 28 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| Flat 51 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 49 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 44 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 6 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Units 10 To 13 Glengall Business Centre 43-47 Glengall Road London Southwar | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Surrey Wharf 30 Olmar Street London Southwark SE1 5AY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 31 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 15 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 27 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 48 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 28 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 1 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 40 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 16 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
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| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 24 Oleander House 1B Glengall Road London Southwark SE15 6FS | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 24-50 Ossory Road London Southwark SE1 5AN | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 61 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 11A Glengall Road London Southwark SE15 6NJ | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 20 Portway House 2A Ossory Road London Southwark SE1 5XY | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 49 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Unit 0z05 Ground Floor 54-80 Ossory Road London Southwark SE1 5AN | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 6 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| First Floor Flat 34 Glengall Road London Southwark SE15 6NN | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 32 Glengall Road London Southwark SE15 6NN | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 26 George Elliston House Old Kent Road London Southwark SE1 5ET | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 17 George Elliston House Old Kent Road London Southwark SE1 5ET | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 9 Portway House 2A Ossory Road London Southwark SE1 5XY | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |

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| Flat 60 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 56 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 7 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 21 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 48 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 34 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Upper Ground Floor Flat 34 Glengall Road London Southwark SE15 6NN | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Ground Floor Flat 40A Glengall Road London Southwark SE15 6NH | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 15 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 17 Glengall Road London Southwark SE15 6NJ | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 1 Glengall Terrace London Southwark SE15 6NW | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 8 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 2 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |

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| Flat 6 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 13 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 4 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 34 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 32 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 5 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 18 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 30 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 15 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 59 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 57 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Unit 1 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| 506-510 Old Kent Road London Southwark SE1 5BA | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 14 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 6 Tevatree House Old Kent Road London Southwark SE1 5PA | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 43 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Ground Floor Flat 50 Glengall Road London Southwark SE15 6NH | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 3 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Unit 2A Cantium Retail Park 520 Old Kent Road London Southwark SE1 5BA | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 37 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 430A Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 4 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 3 41 Glengall Road London Southwark SE15 6NF | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 29 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 23 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 15 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 9 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |

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| Flat 30 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| Flat 44 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 8 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| Flat 53 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 9 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| Flat 30 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 4 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| 45 Milestone House 434 Old Kent Road London Southwark SE1 5YB | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 52 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| Flat 50 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 45 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| Flat 37 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| Flat 27 Oleander House 1B Glengall Road London Southwark SE15 6FS | 19.03.2020 | Neighbour Notification Letter | B21 |
| | 12.03.2020 | | 20/02/2020 |

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| Flat 55 Oleander House 1A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 9 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat B 44 Glengall Road London Southwark SE15 6NH | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Unit 7 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 35A Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 24 Glengall Road London Southwark SE15 6NN | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 46 Glengall Road London Southwark SE15 6NH | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 42 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 24 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 20 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 18 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 4 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 3 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 12 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
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| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 69 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 64 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 57 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 47 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 40 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 17 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 22 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 20 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 18 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 4 Roman House 2B Ossory Road London Southwark SE1 5AN | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 28 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 23 Portway House 2A Ossory Road London Southwark SE1 5XY | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |
| Flat 10 Oleander House 430 Old Kent Road London Southwark SE1 5AG | 19.03.2020 | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 12.03.2020 | | | |

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| Flat 46 Oleander House 1B Glengall Road London Southwark SE15 6FS | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 36 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 30 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 12 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 10 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 9 Milestone House 434 Old Kent Road London Southwark SE1 5YB | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Unit 2B Cantium Retail Park 520 Old Kent Road London Southwark SE1 5BA | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Unit 6 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Unit 4 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Ground Floor And First Floor Flat 9 Glengall Road London Southwark SE15 6NJ | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 32 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 7 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 29 George Elliston House Old Kent Road London Southwark SE1 5ET | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |

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| Flat 6 41 Glengall Road London Southwark SE15 6NF | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 33 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 15 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 2 Glengall Terrace London Southwark SE15 6NW | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 3 John Penry House 1 Marlborough Grove London Southwark SE1 5JS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 33 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 2 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| 35 Glengall Road London Southwark SE15 6NJ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 45 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 35 George Elliston House Old Kent Road London Southwark SE1 5ET | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 41 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 20 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 30 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |
| Flat 24 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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|---|------------|--------------------------------------|-----|------------|
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 72 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 33 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 22 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 2 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 25 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 1 Lanark House Mawbey Estate Old Kent Road London Southwark SE1 5PF | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 7 Tevatree House Old Kent Road London Southwark SE1 5PA | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Basement And Ground Floors 516 Old Kent Road London Southwark SE1 5BA | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 42 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 32 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 21 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 19 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| Flat 42 Oleander House 1B Glengall Road London Southwark SE15 6FS | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |

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| Flat 14 Oleander House 1B Glengall Road London Southwark SE15 6FS | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 4 Oleander House 430 Old Kent Road London Southwark SE1 5AG | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| John Penry House 1 Marlborough Grove London Southwark SE1 5JS | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Unit 9 Glengall Business Centre 43-47 Glengall Road London Southwark SE15 6 | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Ground Floor And First Floor Flat 27 Glengall Road London Southwark SE15 6N | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 2 41 Glengall Road London Southwark SE15 6NF | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 7 Glengall Road London Southwark SE15 6NJ | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 19 Glengall Road London Southwark SE15 6NJ | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 40 Glengall Road London Southwark SE15 6NH | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| 454-460 Old Kent Road London Southwark SE1 5AG | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 9 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 18 Eric Wilkins House Old Kent Road London Southwark SE1 5ES | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| Flat 49 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | 12.03.2020 | | |
| | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | |

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| Flat 45 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 44 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PQ | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 36 Mawbey House Mawbey Estate Old Kent Road London Southwark SE1 5PG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 5 Tevatree House Old Kent Road London Southwark SE1 5PA | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 42 Avondale House Avondale Square London Southwark SE1 5PE | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 21 Portway House 2A Ossory Road London Southwark SE1 5XY | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| First Floor 516 Old Kent Road London Southwark SE1 5BA | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 25 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 23 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 13 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| 432 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 8 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 5 Oleander House 430 Old Kent Road London Southwark SE1 5AG | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020Neighbour Notification Letter 12.03.2020 | B21 | 20/02/2020 |
| Flat 43 Oleander House 1B Glengall Road London Southwark SE15 6FS | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |

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| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 38 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 35 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 26 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 18 Milestone House 434 Old Kent Road London Southwark SE1 5YB | | Neighbour Notification Letter - BULK | B21 | 27/02/2020 |
| | 19.03.2020 | Neighbour Notification Letter | B21 | 20/02/2020 |
| | 12.03.2020 | | | |
| 30 Portway House 2a Ossory Rd London SE15XY | | | | |
| 30 Portway House 2a Ossory Road London SE1 5XY | | | | |
| 15 Glengall Road LONDON Se15 6nj | | | | |
| 15 Glengall Road LONDON Se15 6NJ | | | | |
| 17 Glengall Road London SE15 6NJ | | | | |
| 21 Glengall Road London SE156NJ | | | | |
| Glengall Road London SE15 6NJ | | | | |
| 27, Glengall Road London SE15 6NJ | | | | |
| 28 Glengall Road London SE15 6NJ | | | | |
| 28 Glengall Road London SE15 6NJ | | | | |
| 29 Glengall Road London SE15 6NJ | | | | |
| 27 glengall road London SE15 6NJ | | | | |
| 23 glengall road London Se156nj | | | | |
| 15 Glengall Road London SE15 6NY | | | | |
| 15 Glengall Road London SE15 6NJ | | | | |
| 21 Glengall Road London SE15 6NJ | | | | |
| 21 Glengall Rd London SE15 6NJ | | | | |
| 11a Glengall Road London SE15 6NJ | | | | |
| Flat 13 Portway House 2A Ossory Road London SE1 5XY | | | | |
| 13 Glengall Road London SE15 6NJ | | | | |
| 13 Glengall Road London SE15 6NJ | | | | |
| 24 Glengall Road London SE15 6NJ | | | | |
| 19 Glengall Road London SE15 6Nj | | | | |
| 19 Glengall Road London SE15 6NJ | | | | |
| 25 glengall road london se156nj | | | | |
| 33 Glengall Road London SE15 6NJ | | | | |

33 Glengall Road London SE15 6NJ
33 Glengall Road London SE15 6NJ
27 glengall road London SE15 6NJ
34 Glengall Road London Se156NN
17 Glengall Road London SE15 6NJ
15 Glengall Road London SE15 6NJ
1 Glengall Road London SE15 6NJ
29 Glengall Road London SE15 6NJ
33 glengall road London Se15 6nj

APPENDIX 2**Consultation responses received****Internal services**

Archaeological Officer
 Ecology Officer
 Economic Development Officer
 Environmental Protection Officer
 Flood and Drainage Officer
 Urban Forester
 Design and Conservation Officer
 Transport Officer
 Highways Officer

Statutory and non-statutory organisations

Arqiva - digital communications
 Environment Agency
 London Underground Limited
 Metropolitan Police Service (Designing out Crime)
 Natural England - London Region & South East Region
 Network Rail (Planning)
 Thames Water - Development Planning
 Transport for London (referable & non-referable app notifications and pre-apps)
 United Kingdom Power Network

Neighbour and local groups consulted:

1 Glengall Road
 1 Glengall Road
 11a Glengall Road
 13 Glengall Road
 13 Glengall Road
 15 Glengall Road
 15 Glengall Road
 15 Glengall Road
 15 Glengall Road
 15 Glengall Road
 15a Glengall Road
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29 Glengall Road

29 Glengall Road

33 Glengall Road

33 Glengall Road

33 Glengall Road

33 Glengall Road

33 Glengall Road

34 Glengall Road

Flat 13 Portway House, 2a, Ossory Road

Flat 30 Portway House, 2a, Ossory Road

Flat 30 Portway House, 2a, Ossory Road

RECOMMENDATION

This document shows the case officer's recommended decision for the application referred to below.
This document is not a decision notice for this application.

| | | | |
|-------------------------|----------------------------------|--------------------|------------|
| Applicant | OSSORY ROAD LLP | Reg. Number | |
| Application Type | Full Planning Application | | |
| Recommendation | Grant subject to Legal Agreement | Case Number | 19/AP/7610 |

Draft of Decision Notice

Planning Permission was **GRANTED** for the following development:

Demolition of the existing building and redevelopment of the site to deliver a building of part 10 part 11 storeys (43.2m AOD) comprising 1,438 sqm of light industrial floorspace across the basement, ground, and first floors; 71 residential units (35.38% by habitable rooms) across the upper floors; and associated outdoor communal amenity space, disabled car parking, cycle storage, refuse storage, and landscaping.

This application represents a departure from strategic policy 10 'Jobs and Businesses' of the Core Strategy (2011) and Saved Policy 1.2 'Strategic and Local Preferred Industrial Locations' of the Southwark Plan (2007) by virtue of proposing to introduce residential accommodation in a preferred industrial location.

At: 14-22 OSSORY ROAD, LONDON, SE1 5PA

In accordance with application received on 18/12/2020

Supporting Documents:

Air quality - 2779r2 - Air Quality Assessment - Ossory Road London

Archaeology - 1042 14-22 Ossory Road

Contamination - 1930-19 Ossory Rd Ph1 Desk Study (Nov 19) Final Complete Rev1

Design and Access Statement - 2786_DAS_191211_Planning Application

Daylight/Sunlight - AWH_22590_Daylight_and_Sunlight_Proposed_Development - Ossory Road London SE1 5AN.pdf; AWH_22590_REL03V2_Daylight_and_Sunlight - Ossory Road London SE1 5AN - Reduced - FJC (002); AWH_Overshadowing Assessment_14-22 Ossory Road

Drainage – Southwark _suds_proforma_v3; Surface Water Drainage Strategy - Rev B.pdf; Half Drain Time.pdf

Ecology - 551258mjh01May19FV03_PEA

Energy - Appendix I.pdf; Appendix G.pdf; Appendix H.pdf; Appendix C.pdf; Appendix D.pdf; Appendix E.xlsx; Appendix F.pdf; Appendix A.pdf; Appendix B.pdf; 19293_OssoryRoad_ESS_170720.pdf

Fire - 200706 - Ossory Road - Fire Safety Statement - Issue 02
Heritage - 2019 11 05 - Ossory Road HS
Noise - J0438_R01B_Noise Impact Assessment
Planning Statement - Ossory Road planning statement
SCI - FINAL PSP 14-22 Ossory Road Statement of Community Involvement
Transport - JNY9712-01c Transport Assessment; JNY9712-02c Framework Travel Plan.pdf; JNY9712-03c Delivery and Servicing Plan.pdf; JNY9712-04c Outline CLP.pdf
TVA - N0600 TVA Ossory Road FINAL
Utilities - Foul Sewage and Utilities Assessment Report _compressed
Viability - EVA Report -Ossory Road, London - November 2019; Ossory Road - Summary EVA Report - February 2020
Engagement summary - Engagement Summary T- 14-22 Ossory Road

Existing Drawings:

2786_EX-P-V1 - Existing Plans
2786_EX-EL-V1 - Existing Elevations
2444 01 - Topographic Survey
2786_EX-OS - Existing Site Location Plan

- 1 The development hereby permitted shall not be carried out otherwise than in accordance with the following approved plans:

2786_GA-SP-L00-500 V35 - Site Plan-L00
2786_GA-SP-L04-500 V35 – Site Plan-L04
2786_GA-P-B01-100 V35 - B01 Floor Plan
2786_GA-P-L00-100 V35 - L00 Floor Plan
2786_GA-P-L01-100 V35 - L01 Floor Plan
2786_GA-P-L02-100 V35 - L02 Floor Plan
2786_GA-P-L03-100 V35 - L03 Floor Plan
2786_GA-P-L04-100 V35 - L04 Floor Plan
2786_GA-P-L05-100 V35 - L05 Floor Plan
2786_GA-P-L06-100 V35 – L06 Floor Plan
2786_GA-P-L07-100 V35 - L07 Floor Plan
2786_GA-P-L08-100 V35 - L08 Floor Plan
2786_GA-P-L09-100 V35 - L09 Floor Plan
2786_GA-P-L10-100 V35 - L10 Floor Plan
2786_GA-P-L11-100 V35 - L11 Floor Plan
2786_GA-P-Roof-100 V35 - Roof Plan

2786_GA-P-FT-01 V31 - Flat Type 01 - 0B1P
2786_GA-P-FT-02 V31 - Flat Type 02 - 0B1P
2786_GA-P-FT-03 V31 - Flat Type 03 - 0B1P
2786_GA-P-FT-04 V31 - Flat Type 04 - 1B2P
2786_GA-P-FT-05 V31 - Flat Type 05 - 1B2P
2786_GA-P-FT-06 V31 - Flat Type 06 - 1B2P
2786_GA-P-FT-07 V31 - Flat Type 07 - 1B2P

2786_GA-P-FT-08 V31 - Flat Type 08 - 1B2P
2786_GA-P-FT-09 V31 - Flat Type 09 - 1B2P
2786_GA-P-FT-10 V35 - Flat Type 10 - 1B2P
2786_GA-P-FT-11 V31 - Flat Type 11 - 1B2P
2786_GA-P-FT-12 V31 - Flat Type 12 - 1B2P
2786_GA-P-FT-13 V31 - Flat Type 13 - 2B3P
2786_GA-P-FT-14 V31 - Flat Type 14 - 2B3P
2786_GA-P-FT-15 V31 - Flat Type 15 - 2B3P WCH
2786_GA-P-FT-16 V31 - Flat Type 16 - 2B4P
2786_GA-P-FT-17 V31 - Flat Type 17 - 2B4P
2786_GA-P-FT-18 V31 - Flat Type 18 - 2B4P
2786_GA-P-FT-19 V31 - Flat Type 19 - 3B4P
2786_GA-P-FT-20 V31 - Flat Type 20 - 3B4P
2786_GA-P-FT-21 V31 - Flat Type 21 - 3B4P
2786_GA-P-FT-22 V35 - Flat Type 22 - 3B4P
2786_GA-P-FT-23 V35 - Flat Type 23 - 4B6P

2786_GA-E-E V35 - East Elevation
2786_GA-E-N V35 - North Elevation
2786_GA-E-S V31 - South Elevation
2786_GA-E-W V35 - West Elevation
2786_GA-E-E&S V35 - East & South Context Elevations
2786_GA-E-W&N V35 - West & North Context Elevations

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 The development hereby permitted shall be begun before the end of three years from the date of this permission.

Reason:

As required by Section 91 of the Town and Country Planning Act 1990 as amended.

Pre-commencement condition(s) - the details required to be submitted for approval by the condition(s) listed below must be submitted to and approved by the council before any work in connection with implementing this permission is commenced.

- 3 Before any work hereby authorised begins, the applicant shall secure the implementation of a programme of archaeological evaluation works in accordance with a written scheme of investigation which shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order that the applicants supply the necessary archaeological information to ensure suitable mitigation measures and/or foundation design proposals be presented in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

- 4 Before any work hereby authorised begins, the applicant shall secure the implementation of a programme of archaeological mitigation works in accordance with a written scheme of investigation, which shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order that the details of the programme of works for the archaeological mitigation are suitable with regard to the impacts of the proposed development and the nature and extent of archaeological remains on site in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

- 5 Before any work, hereby authorised, excluding demolition to basement level, archaeological evaluation and site investigation works, begins, the applicant shall submit a detailed scheme showing the complete scope and arrangement of the basement and foundation design, and all associated subterranean groundworks, including the construction methods. The submitted documents should show how archaeological remains will be protected by a suitable mitigation strategy. The detailed scheme will need to be approved in writing by the Local Planning Authority and the development shall only be carried out in accordance with the approval given.

Reason: In order that all below ground impacts of the proposed development are known and an appropriate protection and mitigation strategy is achieved to preserve archaeological remains by record and/or in situ in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

- 6 No development shall take place, including any works of demolition, until a written construction environmental management plan (CEMP) has been submitted to and approved in writing by the Local Planning Authority. The CEMP shall oblige the applicant, developer and contractors to commit to current best practice with regard to construction site management and to use all best endeavours to minimise off-site impacts, and will include the following information:
- o A detailed specification of demolition and construction works at each phase of development including consideration of all environmental impacts and the identified remedial measures;
 - o Site perimeter continuous automated noise, dust and vibration monitoring;
 - o Engineering measures to eliminate or mitigate identified environmental impacts e.g. hoarding height and density, acoustic screening, sound insulation, dust control measures, emission reduction measures, location of specific activities on site, etc.;
 - o Arrangements for a direct and responsive site management contact for nearby occupiers during demolition and/or construction (signage on hoardings, newsletters, residents liaison meetings, etc.)
 - o A commitment to adopt and implement of the ICE Demolition Protocol and Considerate Contractor Scheme; Site traffic - Routing of in-bound and outbound site traffic, one-way site traffic arrangements on site, location of lay off areas, etc.;

- o Site waste Management - Accurate waste stream identification, separation, storage, registered waste carriers for transportation and disposal at appropriate destinations.
- o A commitment that all NRMM equipment (37 kW and 560 kW) shall be registered on the NRMM register and meets the standard as stipulated by the Mayor of London

To follow current best construction practice, including the following:-

- o Southwark Council's Technical Guide for Demolition & Construction at <http://www.southwark.gov.uk/construction>
- o Section 61 of Control of Pollution Act 1974,
- o The London Mayors Supplementary Planning Guidance 'The Control of Dust and Emissions During Construction and Demolition',
- o The Institute of Air Quality Management's 'Guidance on the Assessment of Dust from Demolition and Construction' and 'Guidance on Air Quality Monitoring in the Vicinity of Demolition and Construction Sites',
- o BS 5228-1:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Noise',
- o BS 5228-2:2009+A1:2014 'Code of practice for noise and vibration control on construction and open sites. Vibration'
- o BS 7385-2:1993 Evaluation and measurement for vibration in buildings. Guide to damage levels from ground-borne vibration,
- o BS 6472-1:2008 'Guide to evaluation of human exposure to vibration in buildings - vibration sources other than blasting,
- o Relevant Stage emission standards to comply with Non-Road Mobile Machinery (Emission of Gaseous and Particulate Pollutants) Regulations 1999 as amended & NRMM London emission standards <http://nrmm.london/>

All demolition and construction work shall be undertaken in strict accordance with the approved CEMP and other relevant codes of practice, unless otherwise agreed in writing by the Local Planning Authority.

Reason:

To ensure that occupiers of neighbouring premises and the wider environment do not suffer a loss of amenity by reason of pollution and nuisance, in accordance with Strategic Policy 13 'High environmental standards' of the Core Strategy (2011), Saved Policy 3.2 'Protection of amenity' of the Southwark Plan (2007), and the National Planning Policy Framework (2019).

- 7 No works (excluding demolition and site clearance) shall commence until full details of the proposed surface water drainage system incorporating Sustainable Drainage Systems (SuDS)

have been submitted to and approved in writing by the Local Planning Authority, including detailed design, size and location of attenuation units and details of flow control measures. The strategy should achieve a reduction in surface water runoff rates during the 1% Annual Exceedance Probability (AEP) event plus climate change allowance to greenfield rates, as detailed in the 'Drainage Strategy' prepared by Whitby Woods (ref: P450200-REP-C-001 Rev 2, dated July 2020). The applicant must demonstrate that the site is safe in the event of blockage/failure of the system, including consideration of exceedance flows. The site drainage must be constructed to the approved details.

Reason: To minimise the potential for the site to contribute to surface water flooding in accordance with Southwark's Strategic Flood Risk Assessment (2017) and Policy 5.13 of the London Plan (2016).

- 8 a) Based on the phase 1 site investigation report by Pam Brown Associates, ref. 1930-19/Final rev1, November 2019, an intrusive site investigation and associated risk assessment shall be completed to fully characterise the nature and extent of any contamination of soils and ground water on the site.
- b) In the event that contamination is found that presents a risk to future users or controlled waters or other receptors, a detailed remediation and/or mitigation strategy shall be prepared and submitted to the Local Planning Authority for approval in writing. The strategy shall detail all proposed actions to be taken to bring the site to a condition suitable for the intended use together with any monitoring or maintenance requirements. The scheme shall also ensure that as a minimum, the site should not be capable of being determined as contaminated land under Part IIA of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation. The approved remediation scheme (if one is required) shall be carried out and implemented as part of the development.
- c) Following the completion of the works and measures identified in the approved remediation strategy, a verification report providing evidence that all works required by the remediation strategy have been completed, together with any future monitoring or maintenance requirements if necessary, shall be submitted to and approved in writing by the Local Planning Authority.
- e) In the event that potential contamination is found at any time when carrying out the approved development that was not previously identified, it shall be reported in writing immediately to the Local Planning Authority, and a scheme of investigation and risk assessment, a remediation strategy and verification report (if required) shall be submitted to the Local Planning Authority for approval in writing, in accordance with a-d above.

Reason:

To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with saved policy 3.2 'Protection of amenity' of the Southwark Plan (2007), strategic policy 13' High environmental standards' of the Core Strategy (2011) and the National Planning Policy Framework 2019.

- 9 Before demolition to ground level slab, a detailed scheme showing the complete scope and arrangement of the foundation design and all ground works shall be submitted to and approved

in writing by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that details of the foundations, ground works and all below ground impacts of the proposed development are detailed and accord with the programme of archaeological mitigation works to ensure the preservation of archaeological remains by record and in situ in accordance with Strategic Policy 12 - Design and Conservation of The Core Strategy 2011, Saved Policy 3.19 Archaeology of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

Commencement of works above grade - the details required to be submitted for approval by the condition(s) listed below must be submitted to and approved by the council before any work above grade is commenced. The term 'above grade' here means any works above ground level.

- 10 Prior to the commencement of any above grade works (excluding demolition), details of bird and/or bat nesting boxes / bricks shall be submitted to and approved in writing by the Local Planning Authority. No less than 6 bat bricks/tubes on the eastern edge of the top floor terrace, and 12 Swift bricks the top of the eastern elevation which shall be internal and set into the wall shall be provided and the details shall include the exact location, specification and design of the habitats. The tubes shall be installed with the development prior to the first occupation of the building to which they form part or the first use of the space in which they are contained. The tubes shall be installed strictly in accordance with the details so approved and shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the tube features and mapped locations and Southwark Council agreeing the submitted plans. A post completion assessment will be required to confirm the terrace/tube features have been installed to the agreed specification.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with policies: 5.10 and 7.19 of the London Plan 2011, Policy 3.28 of the Southwark Plan and Strategic Policy 11 of the Southwark Core Strategy.

- 11 Prior to commencement of any works above grade (excluding demolition), detailed drawings at a scale of 1:5 or 1:10 through:
- i) all facade variations; and
 - ii) commercial fronts and residential entrances; and
 - iii) all parapets and roof edges; and
 - iv) all balcony details; and
 - v) heads, cills and jambs of all openings
- to be used in the carrying out of this permission shall be submitted to and approved by the Local Planning Authority in writing. The development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

In order that the Local Planning Authority may be satisfied as to the quality of the design and details in accordance with the National Planning Policy Framework 2019, Policy 7.7 Location and Design of Tall Buildings of the London Plan 2016, Strategic Policy SP12 'Design & Conservation - of the Core Strategy (2011) and Saved Policies: 3.12 Quality in Design; 3.13 Urban Design; and 3.20 Tall buildings of The Southwark Plan (2007).

- 12 Prior to the commencement of any above grade works (excluding demolition), samples of all external facing materials and full-scale (1:1) mock-ups of the facades to be used in the carrying out of this permission shall be presented on site to the Local Planning Authority and approved in writing. The development shall not be carried out otherwise than in accordance with any such approval given. The facades to be mocked up should be agreed with the Local Planning Authority.

Reason:

In order that the Local Planning Authority may be satisfied that these samples will make an acceptable contextual response in terms of materials to be used, and achieve a quality of design and detailing in accordance with the National Planning Policy Framework 2019, Policy 7.7 of the London Plan 2016, Strategic Policy SP12 ' Design & Conservation - of the Core Strategy (2011) and Saved Policies: 3.12 Quality in Design; 3.13 Urban Design; and 3.20 Tall buildings of The Southwark Plan (2007)

- 13 Prior to the commencement of any above grade works (excluding demolition), details of security measures shall be submitted and approved in writing by the Local Planning Authority and any such security measures shall be implemented prior to occupation in accordance with the approved details which shall achieve the 'Secured by Design' accreditation award from the Metropolitan Police.

Reason:

In pursuance of the Local Planning Authority's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions and to improve community safety and crime prevention in accordance with The National Planning Policy Framework 2019, Strategic Policy 12 - Design and conservation of The Core Strategy 2011 and Saved Policy 3.14 Designing out crime of the Southwark Plan 2007.

- 14 Prior to the commencement of any above grade works (excluding demolition), details and 1:50 scale drawings of the secure cycle parking facilities and servicing layout and its relationship with the public highway shall be submitted to be approved in writing by the Local Planning Authority. The cycle parking facilities shall be provided prior to the occupation of the development and thereafter shall be retained and the space used for no other purpose and the development shall not be carried out otherwise in accordance with any such approval given.

Reason

In order to ensure that satisfactory safe and secure cycle parking facilities are provided and retained in order to encourage the use of cycling as an alternative means of transport to the development and to reduce reliance on the use of the private car in accordance with The National Planning Policy Framework 2019, Strategic Policy 2 - Sustainable Transport of The Core Strategy 2011 and Saved Policy 5.3 Walking and Cycling of the Southwark Plan 2007.

- 15 Prior to the commencement of any above grade works (excluding demolition), details of the biodiversity brown roof shall be submitted to and approved in writing by the Local Planning Authority. The biodiversity brown roof shall be:
- * biodiversity based with extensive substrate base (depth 80-150mm);
 - * laid out in accordance with agreed plans; and
 - * planted/seeded with an agreed mix of species within the first planting season following the practical completion of the building works (focused on wildflower planting, and no more than a maximum of 25% sedum coverage).

The biodiversity brown roof shall not be used as an amenity or sitting out space of any kind whatsoever and shall only be used in the case of essential maintenance or repair or escape in case of emergency. The biodiversity roof shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter. Discharge of this condition will be granted on receiving the details of the brown roof and Southwark Council agreeing the submitted plans. A post completion assessment will be required to confirm the roof has been constructed to the agreed specification.

Reason:

To ensure the development provides the maximum possible provision towards creation of habitats and valuable areas for biodiversity in accordance with: Policies 2.18 (Green Infrastructure: the Multifunctional Network of Green and Open Spaces), 5.3 (Sustainable Design and Construction), 5.10 (Urban Greening) and 5.11 (Green Roofs and Development Site Environs) of the London Plan 2016; Strategic Policy 11 (Design and Conservation) of the Core Strategy 2011, and; Saved Policy 3.28 (Biodiversity) of the Southwark Plan 2007.

- 16 Prior to the commencement of any above grade works (excluding demolition), the applicant shall submit written confirmation from the appointed building control body that the specifications for each dwelling identified in the detailed construction plans meet the standard of the Approved Document M of the Building Regulations (2015) required in the schedule below and as corresponding to the approved floor plans. The development shall be carried out in accordance with the details thereby approved by the appointed building control body.

M4 (Category 3) 'wheelchair user dwellings':- at least 10%

M4 (Category 2) 'accessible and adaptable':- remaining units

Reason:

In order to ensure the development complies with Core Strategy 2011 Strategic Policy 5 (Providing new homes) and London Plan 2016 Policy 3.8 (Housing choice).

- 17 Prior to commencement of any above grade works (excluding demolition), the following further information on the Air Source Heat pumps should be submitted and approved by the Local Planning Authority:

- The heat pump's total capacity (kWth).
- An estimate of the heating and/or cooling energy (MWh/annum) the heat pumps would provide to the development and the percentage of contribution to the site's heat loads.

- Details of how the Seasonal Coefficient of Performance (SCOP) and Seasonal Energy Efficiency ratio (SEER) has been calculated for the energy modelling. This should be based on a dynamic calculation of the system boundaries over the course of a year i.e. incorporating variations in source temperatures and the design sink temperatures (for space heat and hot water).
- Manufacturer datasheets showing performance under test conditions for the specific source and sink temperatures of the proposed development and assumptions for hours spent under changing source temperatures. Whether any additional technology is required for hot water top up and how this has been incorporated into the energy modelling assumptions.
- An estimate of the expected heating costs to occupants, demonstrating that the costs have been minimised through energy efficient design.
- The expected heat source temperature and the heat distribution system temperature with an explanation of how the difference will be minimised to ensure the system runs efficiently.
- A commitment to monitor the performance of the heat pump system post construction to ensure it is achieving the expected performance approved during planning.

Reason:

To ensure the proposal complies with The National Planning Policy Framework 2019, The London Plan 2016, Strategic Policy 13 High environmental standards of The Core Strategy 2011 and Saved Policies 3.3 Sustainability and 3.4 Energy Efficiency of the Southwark Plan 2007.

- 18 Prior to the commencement of any above grade works (excluding demolition), full particulars of the sprinkler system to be used within the ground floor unit shall be submitted to and approved by the Local Planning Authority. The development shall not be carried out otherwise than in accordance with any approval given.

Reason:

To ensure that there is an adequate level of fire safety within this mixed use development.

- 19 Prior to the commencement of any above grade works (excluding demolition), details of the specification of glass with an appropriate reflectivity, demonstrating that levels of glare would be reduced to a tolerable level at all times, to be used in the carrying out of this permission shall be submitted to and approved by the Local Planning Authority. The development shall not be carried out otherwise than in accordance with any such approval given.

Reason:

To ensure that occupiers of neighbouring premises or the surrounding public realm do not suffer a loss of amenity by reason of harmful glare in accordance with the National Planning Policy Framework 2019, Strategic Policy 13 High Environmental Standards of the Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of the Southwark Plan 2007.

- 20 Prior to the fit out of any of the commercial premises, an independently verified BREEAM report (detailing performance in each category, overall score, BREEAM rating and a BREEAM certificate of building performance) to achieve a minimum 'Excellent' rating shall be submitted to and approved in writing by the Local Planning Authority and the development shall not be carried out otherwise than in accordance with any such approval given. Before the first occupation of the building hereby permitted, a certified Post Construction Review (or other verification process agreed with the local planning authority) shall be submitted to and approved in writing by the Local Planning Authority, confirming that the agreed standards at (a) have been met.

Reason:

To ensure the proposal complies with The National Planning Policy Framework 2019, Strategic Policy 13 - High Environmental Standards of The Core Strategy 2011 and Saved Policies 3.3 Sustainability and 3.4 Energy Efficiency of the Southwark Plan 2007.

- 21 Prior to the installation of any lighting, a detailed lighting strategy and design for all internal and external lighting, demonstrating compliance with the Institute of Lighting Professionals (ILP) Guidance Notes, shall be submitted to and approved by the Local Planning Authority in writing. 23.00 hrs shall be the curfew for light pollution / light spillage assessment and implementation of the approved lighting strategy. If mitigation is required to avoid harmful light pollution or light spillage it shall be implemented prior to the first use of the building and retained as such thereafter.

Reason:

In order that the Council may be satisfied as to the details of the development in the interest of the visual amenity of the area, the amenity and privacy of adjoining occupiers, and their protection from light nuisance, in accordance with The National Planning Policy Framework 2019, Strategic Policy 12 Design and Conservation and Strategic Policy 13 High environmental standards of The Core Strategy 2011 and Saved Policies 3.2 Protection of Amenity and 3.14 Designing out crime of the Southwark Plan 2007.

- 22 Before any above grade work hereby authorised begins, detailed drawings of a hard and soft landscaping scheme showing the treatment of all parts of the site not covered by buildings (including cross sections, surfacing materials of any parking, access, or pathways layouts, materials and edge details), shall be submitted to and approved in writing by the Local Planning Authority. The landscaping shall not be carried out otherwise than in accordance with any such approval given and shall be retained for the duration of the use.

The planting, seeding and/or turfing shall be carried out in the first planting season following completion of building works and any trees or shrubs that is found to be dead, dying, severely damaged or diseased within five years of the completion of the building works OR five years of the carrying out of the landscaping scheme (whichever is later), shall be replaced in the next planting season by specimens of the same size and species in the first suitable planting season. Planting shall comply to BS: 4428 Code of practice for general landscaping operations, BS: 5837 (2012) Trees in relation to demolition, design and construction and BS 7370-4:1993 Grounds maintenance Recommendations for maintenance of soft landscape (other than amenity turf).

Reason:

So that the Council may be satisfied with the details of the landscaping scheme, in accordance with: Chapters 8, 12, 15 and 16 of the National Planning Policy Framework 2019; Strategic Policies 11 (Open Spaces and Wildlife), 12 (Design and conservation) and 13 (High Environmental Standards) of The Core Strategy 2011, and; Saved Policies 3.2 (Protection of Amenity), 3.12 (Quality in Design) 3.13 (Urban Design) and 3.28 (Biodiversity) of the Southwark Plan 2007.

- 23 Before any work above grade hereby approved begins (excluding demolition), full particulars shall be submitted to and approved by the Local Planning Authority of a scheme showing that the parts of the commercial floorspace to be used for light industrial purposes will be fitted-out to an appropriate level for light industrial use. The particulars referred to in the preceding sentence shall include details of the mechanical and electrical fit-out of the units, heating and cooling provision, sprinklers, and the provision of kitchen and toilet facilities and not withstanding all permitted development rights shall remain in light industrial use.

The facilities approved shall be installed unless otherwise agreed in writing, and practical completion of the light industrial fit out for each phase shall be at the same time, or before the practical completion of the residential component of the same phase.

Reason:

In granting this permission the Local Planning Authority has had regard to the special circumstances of this case in accordance with Strategic Policy 1.2 Strategic and local preferred industrial locations of The Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of the Southwark Plan 2007 and the National Planning Policy Framework 2019.

Pre-occupation condition(s) - the details required to be submitted for approval by the condition(s) listed below must be submitted to and approved by the council before the building(s) hereby permitted are occupied or the use hereby permitted is commenced.

- 24 Before the first occupation of the building hereby permitted, details of the arrangements for the storing of domestic and commercial refuse shall be submitted to and approved in writing by the Local Planning Authority and the facilities approved shall be provided and made available for use by the occupiers. The facilities shall thereafter be retained and shall not be used or the space used for any other purpose.

Reason:

To ensure that the refuse will be appropriately stored within the site thereby protecting the amenity of the site and the area in general from litter, odour and potential vermin/pest nuisance in accordance with The National Planning Policy Framework 2019, Strategic Policy 13 High Environmental Standards of the Core Strategy 2011 and Saved Policies 3.2 Protection of Amenity and Policy 3.7 Waste Reduction of The Southwark Plan 2007

- 25 Before the first occupation of the building hereby permitted, a landscape management plan, including long-term design objectives, management responsibilities and maintenance

schedules for all landscaped areas (except privately owned domestic gardens), shall be submitted to an approved in writing by the Local Planning Authority. The landscape management plan shall be carried out as approved and any subsequent variations shall be agreed in writing by the local planning authority.

Reason:

This condition is necessary to ensure the protection of wildlife and supporting habitat and secure opportunities for the enhancement of the nature conservation value of the site. This is a mandatory criterion of BREEAM (LE5) to monitor long term impact on biodiversity, a requirement is to produce a Landscape and Habitat Management Plan.

- 26 Before the first occupation of the development hereby permitted, the applicant shall submit details of all the play spaces proposed and details of the play equipment to be installed on the site, including 1:50 scale detailed drawings for approval by the Local Planning Authority. The development shall not be carried out otherwise than in accordance with any such approval given and retained as such. The play equipment shall be provided in accordance with the details thereby approved prior to the occupation of the residential units. All play space and communal amenity space within the development shall be available to all residential occupiers of the development in perpetuity.

Reason:

In order that the Council may be satisfied with the details of the play strategy, in accordance with The National Planning Policy Framework 2019 Parts 5, 8, and 12, London Plan (2016) Policy 3.6 Children and young people's play and informal recreation facilities; policies SP11 Open spaces and wildlife and SP12 Design and conservation of The Core Strategy 2011 and the following Saved Policies of The Southwark Plan 2007: Policy 3.2 Protection of amenity; Policy 3.12 Quality in Design; Policy 3.13 Urban Design; and 4.2 Quality of residential accommodation

- 27 Before the marketing of the development to residential occupiers, details to ensure the promotion of car free living is clear to the occupiers of the development hereby permitted.

Reason:

To ensure compliance with Strategic Policy 2 Sustainable Transport of the Core Strategy 2011, and Saved Policy 5.2 Transport Impacts of the Southwark Plan 2007.

Compliance condition(s) - the following condition(s) impose restrictions and/or other requirements that must be complied with at all times once the permission has been implemented.

- 28 The habitable rooms within the development sharing a party wall element with other flats shall be designed and constructed to provide reasonable resistance to the transmission of sound sufficient to ensure that the party wall meets a minimum of 5dB improvement on the Building Regulations standard set out in Approved Document E.

Reason:

To ensure that the occupiers and users of the proposed development do not suffer a loss of

amenity by reason of noise nuisance and other excess noise from activities within the adjacent premises accordance with strategic policy 13 'High environmental standards' of the Core Strategy (2011), saved Policy 3.2 Protection of Amenity of the Southwark Plan (2007) and the National Planning Policy Framework 2019.

- 29 The dwellings hereby permitted shall be designed to ensure that the following internal noise levels are not exceeded due to environmental noise:

Bedrooms - 35dB LAeq T†, 30 dB L Aeq T*, 45dB LAFmax T *

Living and Dining rooms- 35dB LAeq T †

* - Night-time - 8 hours between 23:00-07:00

† - Daytime - 16 hours between 07:00-23:00

Following completion of the development and prior to occupation, a validation test shall be carried out on a relevant sample of premises. The results shall be submitted to the LPA for approval in writing. The approved scheme shall be implemented and permanently maintained thereafter.

Reason:

To ensure that the occupiers and users of the development do not suffer a loss of amenity by reason of excess noise from environmental and transportation sources in accordance with strategic policy 13 'High environmental standards' of the Core Strategy (2011) saved policies 3.2 'Protection of amenity' and 4.2 'Quality of residential accommodation' of the Southwark Plan (2007), and the National Planning Policy Framework 2019.

- 30 The Rated sound level from any plant, together with any associated ducting shall not exceed the Background sound level (LA90 15min) at the nearest noise sensitive premises. Furthermore, the plant Specific sound level shall be 10dB(A) or more below the background sound level in this location. For the purposes of this condition the Background, Rating and Specific sound levels shall be calculated in full accordance with the methodology of BS4142:2014 +A1:2019

Reason:

To ensure that occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance or the local environment from noise creep due to plant and machinery in accordance with the National Planning Policy Framework 2019, Strategic Policy 13 High Environmental Standards of the Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of the Southwark Plan (2007).

- 31 Party walls, floors and ceilings between the commercial premises and residential dwellings shall be designed to achieve a minimum weighted standardized level difference of 55dB DnTw+Ctr. The partition's acoustic performance shall be permanently maintained thereafter.

Reason:

To ensure that the occupiers and users of the proposed development do not suffer a loss of

amenity by reason of noise nuisance and other excess noise from activities within the commercial premises accordance with strategic policy 13 'High environmental standards' of the Core Strategy (2011), saved Policy 3.2 Protection of Amenity of the Southwark Plan (2007) and the National Planning Policy Framework 2019.

- 32 No developer, owner or occupier of any part of the development hereby permitted, with the exception of disabled persons, shall seek, or will be allowed, to obtain a parking permit within any future controlled parking zone in Southwark in which the application site is situated.

Reason:

To ensure compliance with Strategic Policy 2 - Sustainable Transport of the Core Strategy 2011 and saved policy 5.2 Transport Impacts of the Southwark Plan 2007.

- 33 No piling shall take place until a Piling Method Statement (detailing the depth and type of piling to be undertaken and the methodology by which such piling will be carried out, including measures to prevent and minimise the potential for damage to subsurface sewerage infrastructure, and the programme for the works) has been submitted to and approved in writing by the local planning authority in consultation with Thames Water. Any piling must be undertaken in accordance with the terms of the approved piling method statement.

Reason: The proposed works will be in close proximity to underground sewerage utility infrastructure.

- 34 Any deliveries, unloading and loading to the commercial units shall only be between the following hours:

08.00 to 20.00hrs on Monday to Saturdays; and

10.00 to 16.00hrs on Sundays and Bank Holidays.

Reason:

To ensure that and occupiers of the development and occupiers of neighbouring premises do not suffer a loss of amenity by reason of noise nuisance in accordance with The National Planning Policy Framework 2019, Strategic Policy 13 High Environmental Standards of the Core Strategy 201 and Saved Policies 3.2 Protection of Amenity of The Southwark Plan 2007.

- 35 Notwithstanding the provisions of the Town and Country Planning (Use Classes) Order 1987 and any associated provisions of the Town and Country Planning General Permitted Development Order 2015 (including any future amendment or enactment of those Orders), the Class B use hereby permitted shall be B1(c) light industrial processes and no other use as detailed in the GENERAL ARRANGEMENT B01 FLOOR PLAN (GA-P-B01-100 REV V35), GENERAL ARRANGEMENT L00 FLOOR PLAN (GA-P-L00-100 REV V35), and GENERAL ARRANGEMENT L01 FLOOR PLAN (GA-P-L01-100_L01 REV V35)

Reason:

In granting this permission the Local Planning Authority has had regard to the special circumstances of this case in accordance with Strategic Policy 1.2 Strategic and local preferred industrial locations of The Core Strategy 2011 and Saved Policy 3.2 Protection of Amenity of

the Southwark Plan 2007 and the National Planning Policy Framework 2019.

Informative notes to the applicant relating to the proposed development

THAMES WATER

1. Thames Water will aim to provide customers with a minimum pressure of 10m head (approx 1 bar) and a flow rate of 9 litres/minute at the point where it leaves Thames Waters pipes. The developer should take account of this minimum pressure in the design of the proposed development.
There are water mains crossing or close to your development. Thames Water do NOT permit the building over or construction within 3m of water mains. If you're planning significant works near our mains (within 3m) we'll need to check that your development doesn't reduce capacity, limit repair or maintenance activities during and after construction, or inhibit the services we provide in any other way. The applicant is advised to read our guide working near or diverting our pipes.
<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>
2. The proposed development is located within 15m of Thames Waters underground assets, as such the development could cause the assets to fail if appropriate measures are not taken. Please read our guide 'working near our assets' to ensure your workings are in line with the necessary processes you need to follow if you're considering working above or near our pipes or other structures.
<https://developers.thameswater.co.uk/Developing-a-large-site/Planning-your-development/Working-near-or-diverting-our-pipes>. Should you require further information please contact Thames Water. Email: developer.services@thameswater.co.uk

OPEN**COMMITTEE:****PLANNING COMMITTEE****MUNICIPAL YEAR 2020-21****NOTE:**

Original held in Constitutional Team; all amendments/queries to Tim Murtagh/Gerald Gohler, Constitutional Team, Tel: 020 7525 7187/7420

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